

Palisair Home Owners Association

A CALIFORNIA NON-PROFIT CORPORATION

www.palisairhoa.org

c/o PMP Management
445 South Figueroa Street, Suite 2310
Los Angeles, California 90071
Care@PMPmanage.com

The association itself is a “Tract Committee”
under the Declaration of Restrictions covering
Tracts 15944, 15948, and 19890, and operates as
such through its Board of Directors and its Officers.

Dear Palisair Homeowner,

The PHOA Board has received plans for the proposed home at **16116 Anoka Drive**. As outlined in Article III, Section 1 of Palisair’s CC&Rs, the Board is required to seek community input on proposed project before making any decisions regarding its approval. The Community Viewing is scheduled for **Saturday, July 18, 2026 at 9:00 AM**.

Renderings provided by the project architect, as well as elevations and available as-builts, are included with this notice for your review.

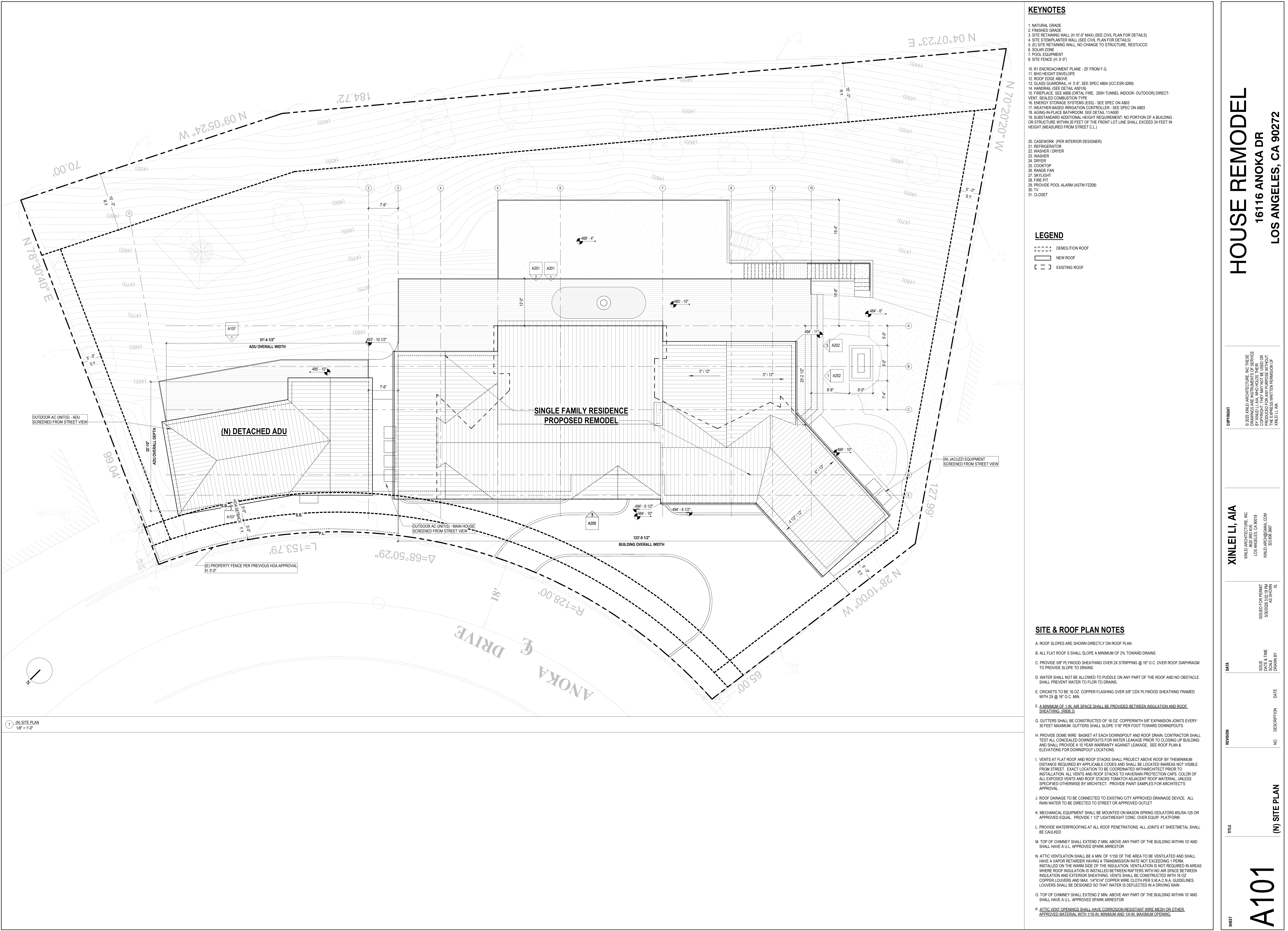
Please send any questions, concerns, or comments you would like the Board to consider when making its decisions to ARussell@PMPmanage.com with the subject line “*16116 Anoka Drive*”.

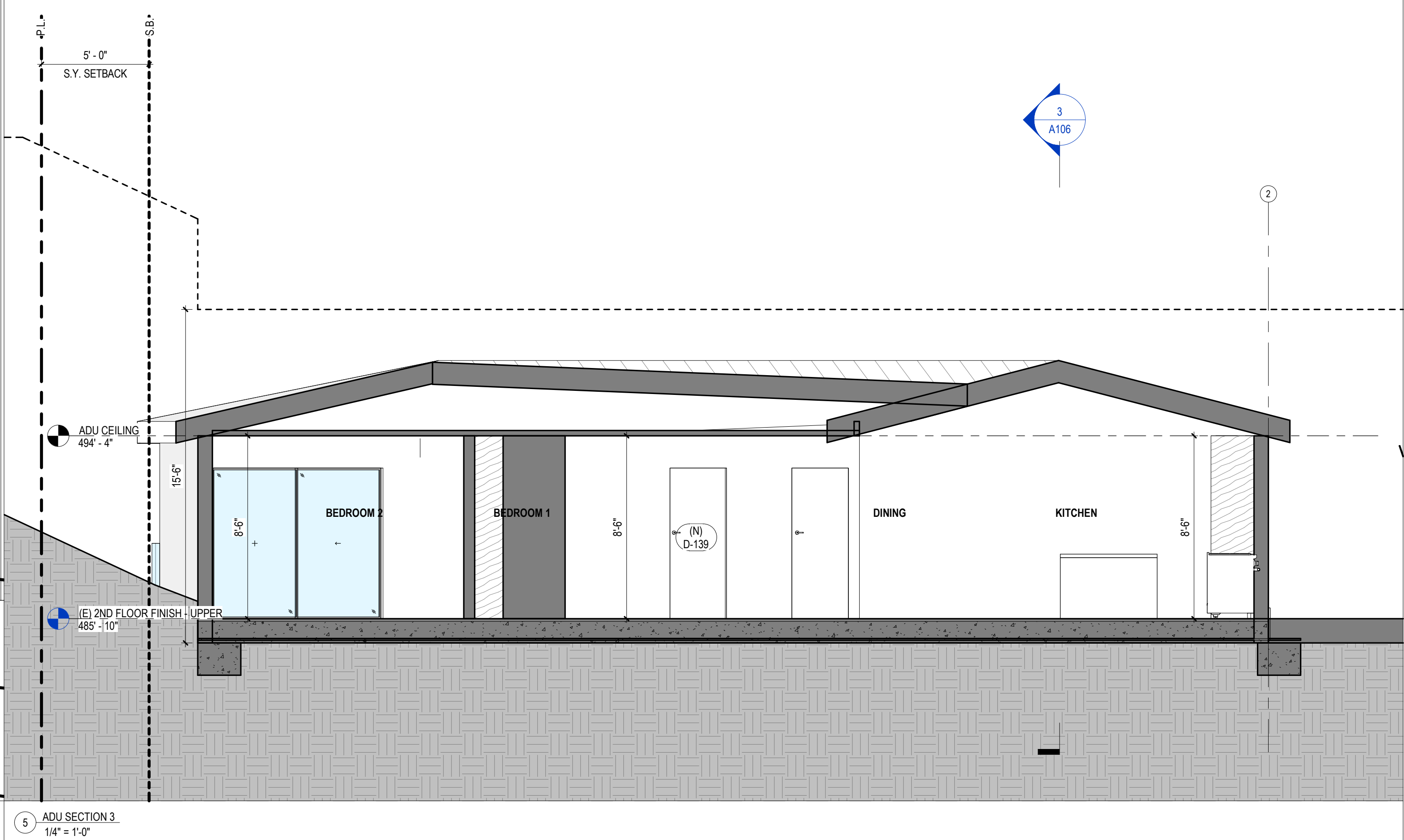
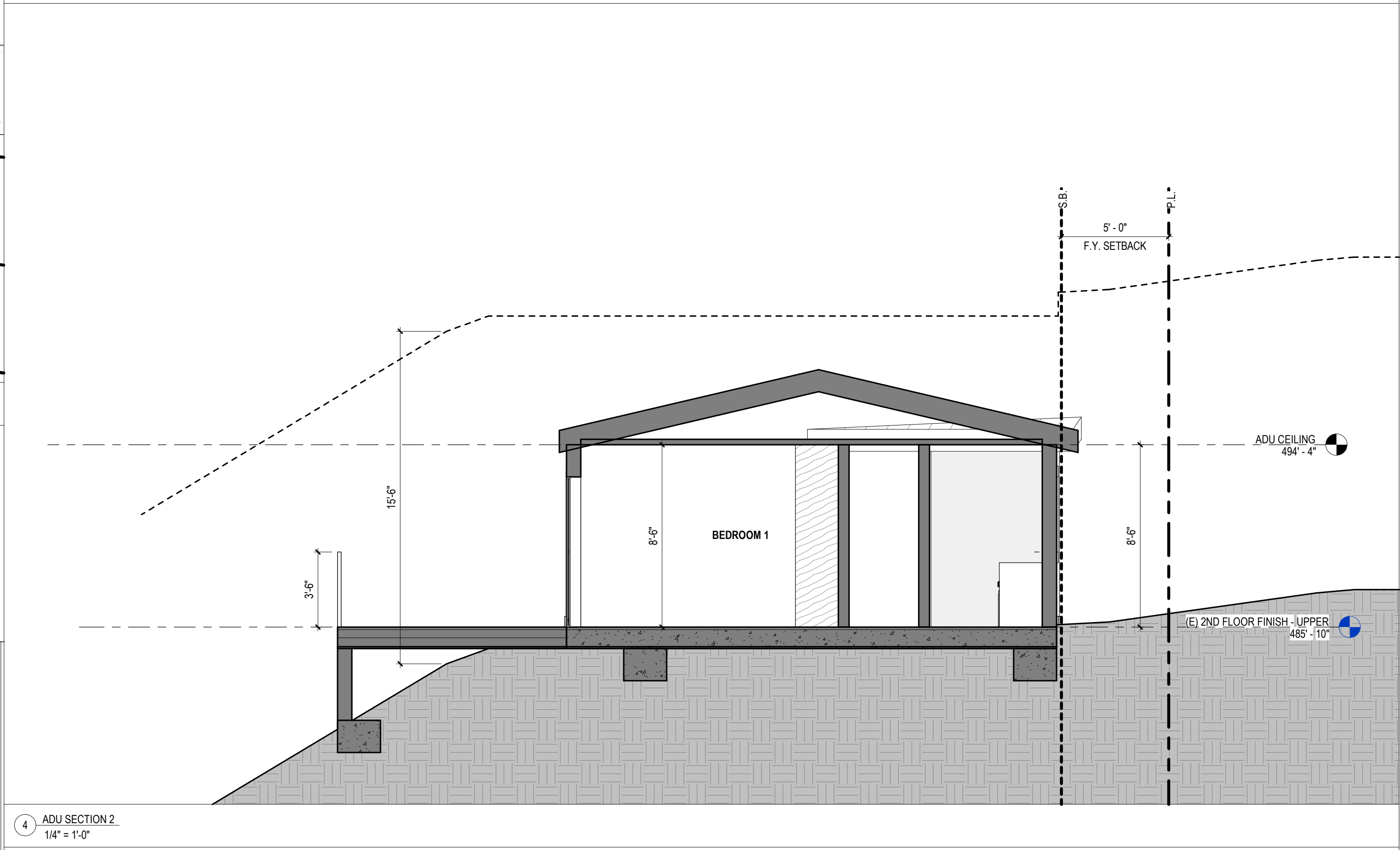
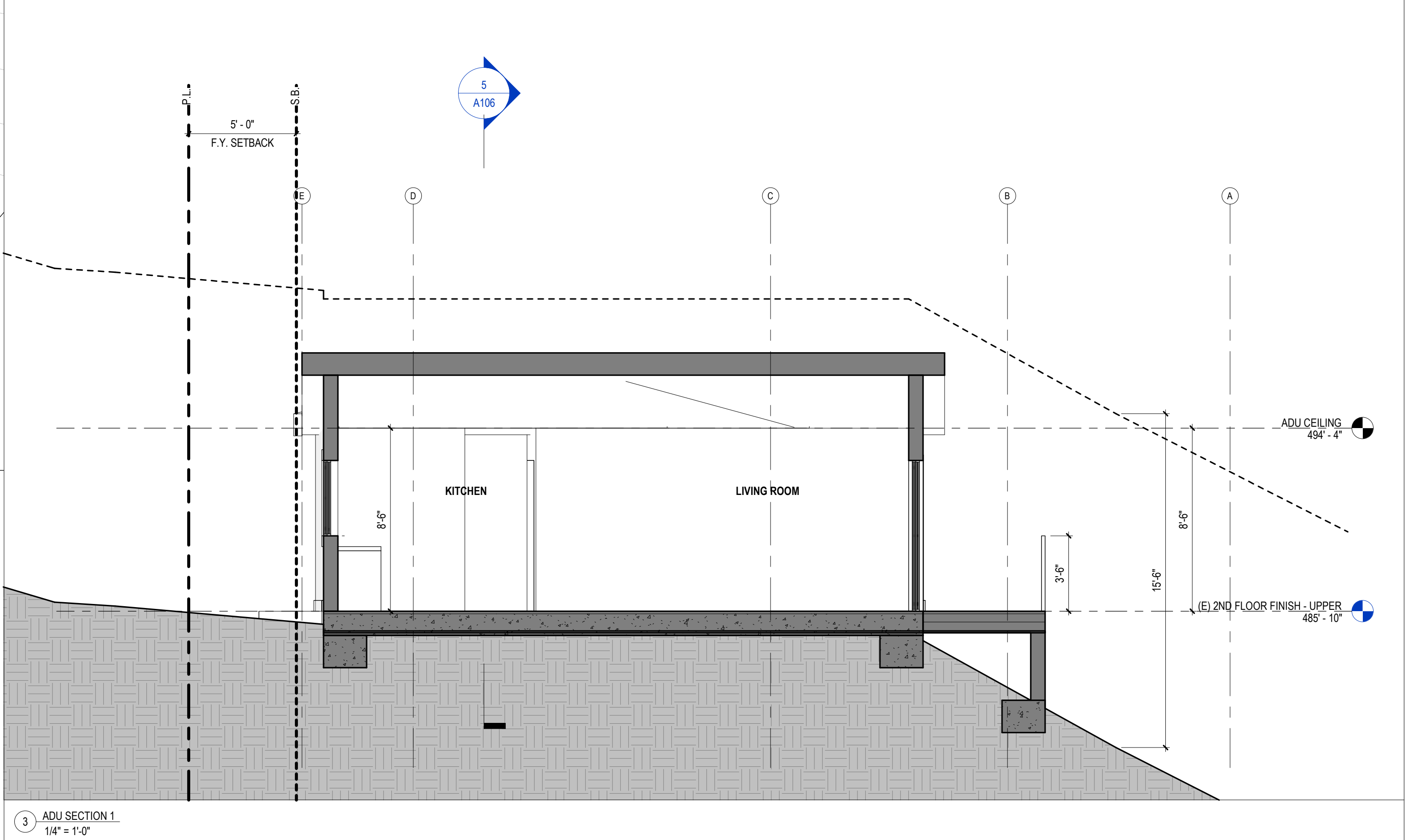
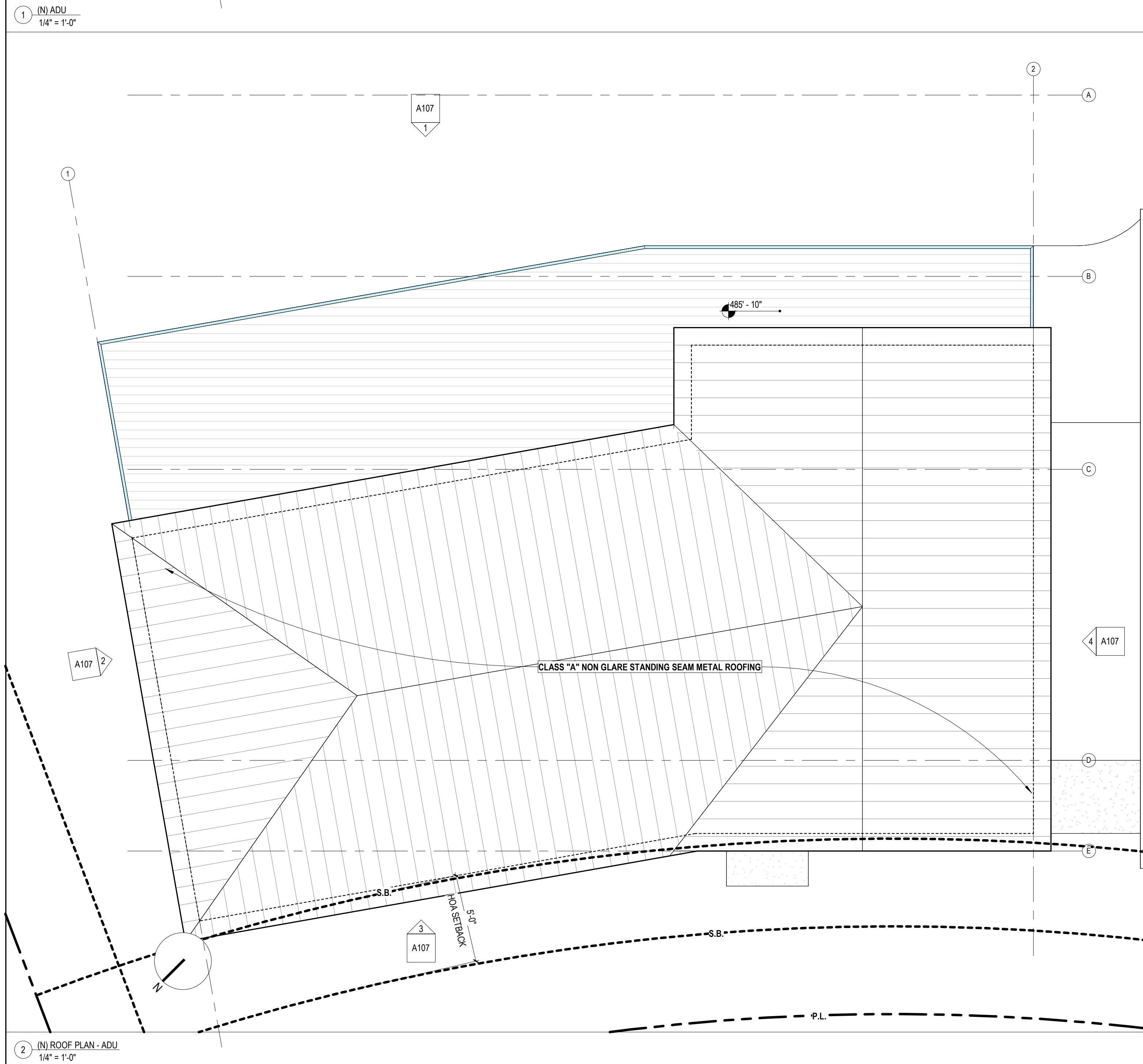
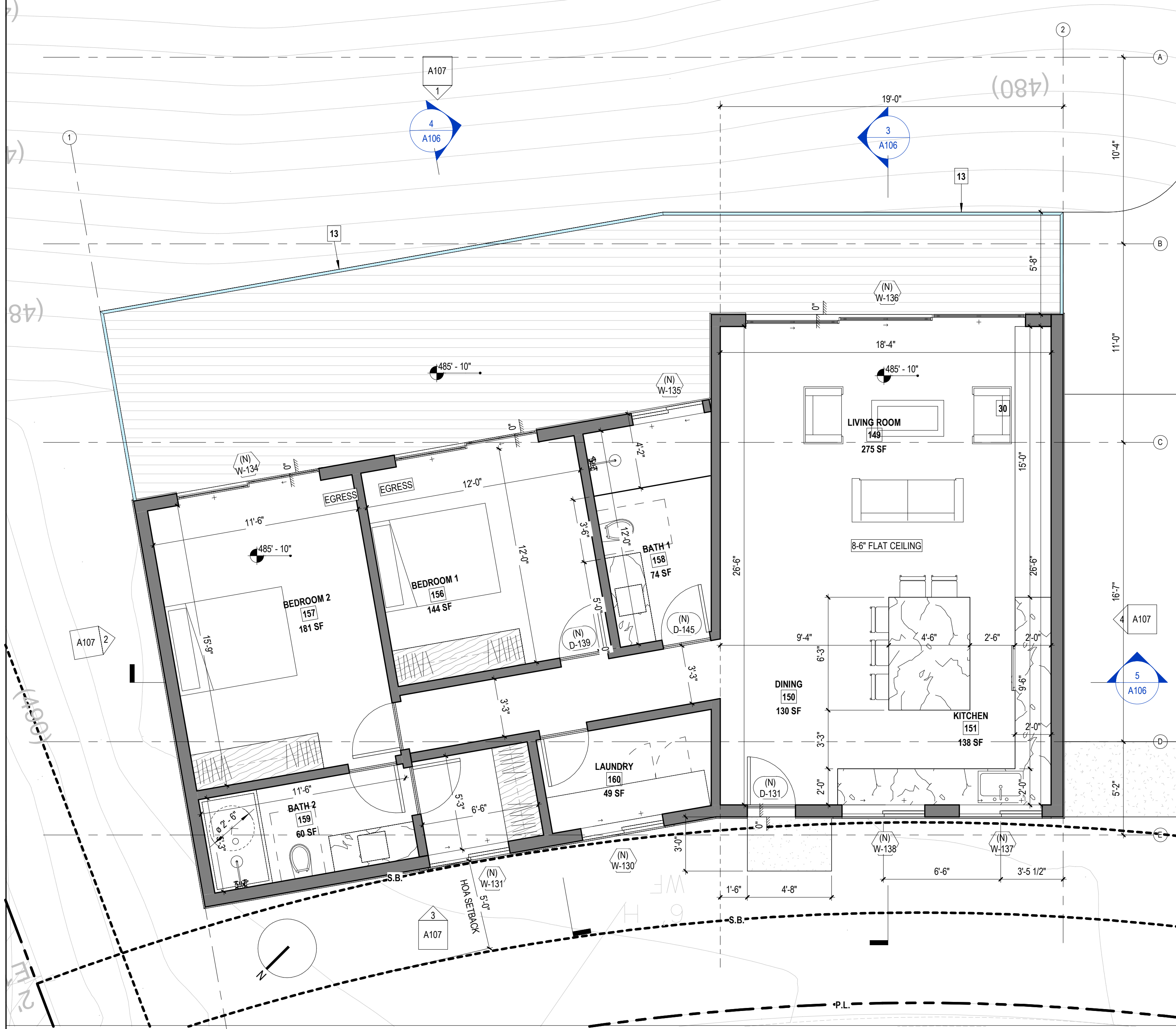
Please submit your feedback by Monday, August 10, 2026, if you have concerns, questions, or comments. In your written correspondence, note your address as well as the CC&R article and section that you feel the project would violate. If we do not hear from you before we decide on this project, we'll assume that you have no objection to the proposed project.

No decision has been made regarding this submittal. The Board will wait to hear objections, if any, and conduct site visits, if necessary, and then discuss the validity of the project.

Thank you and we look forward to your input.

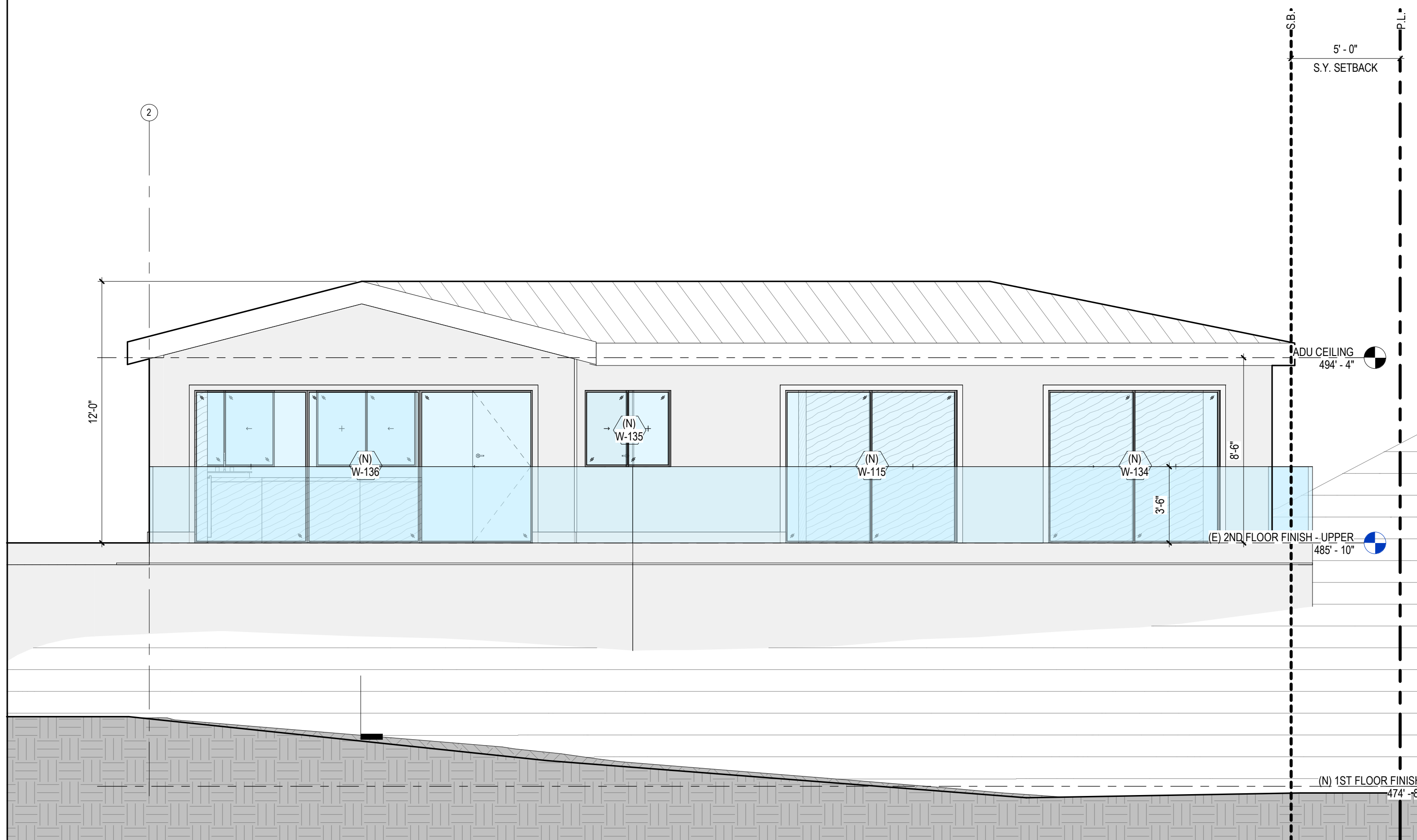
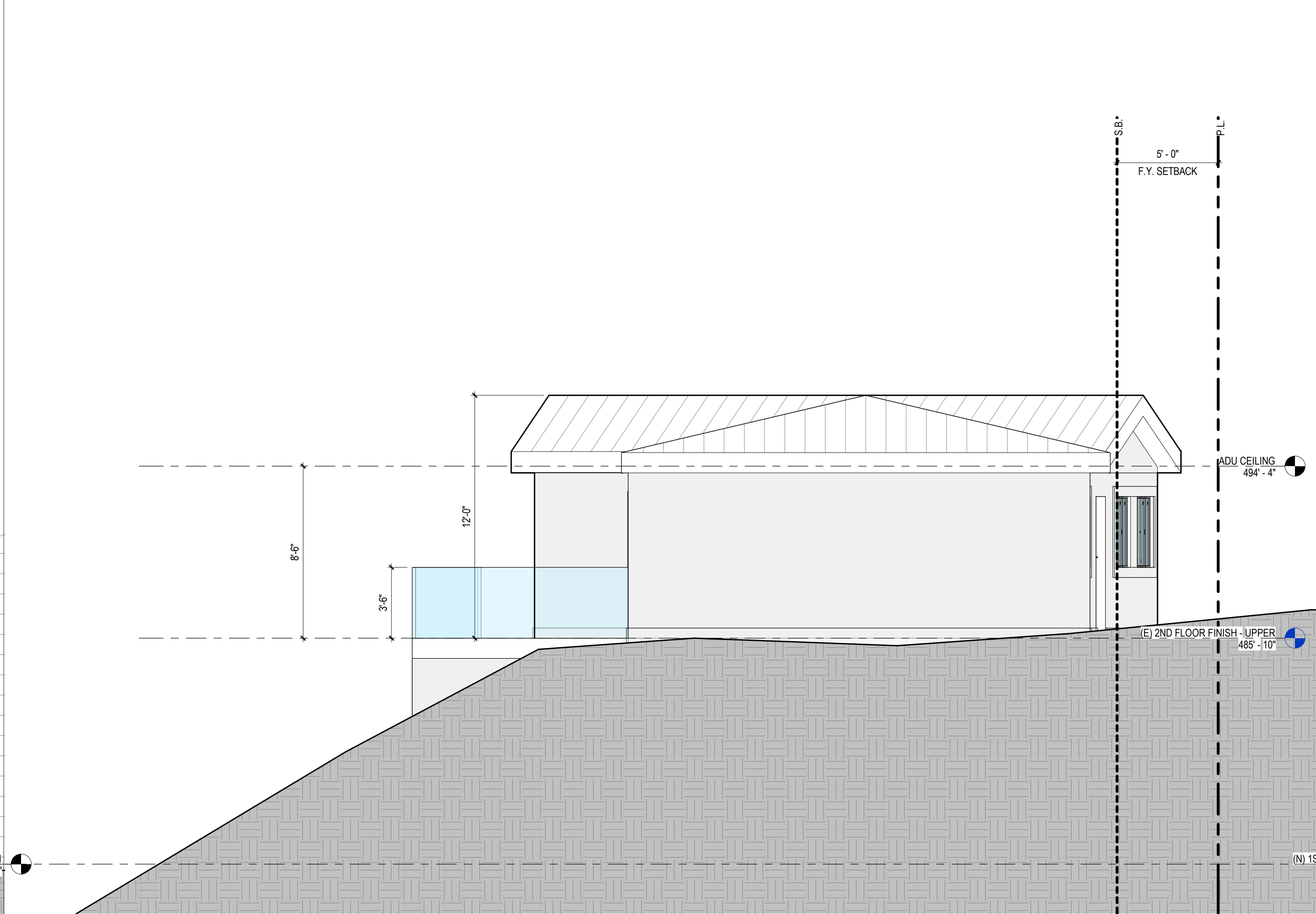
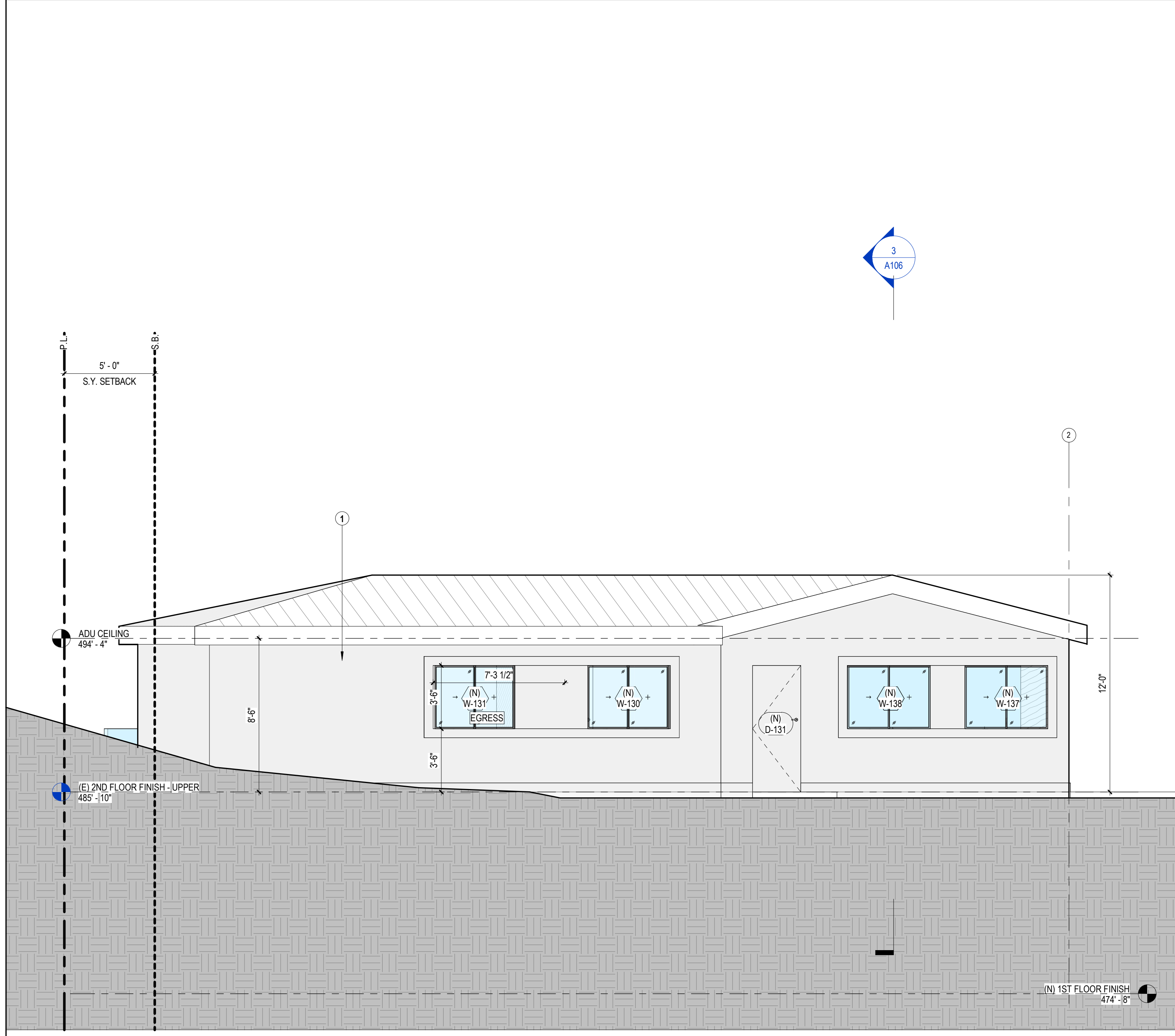
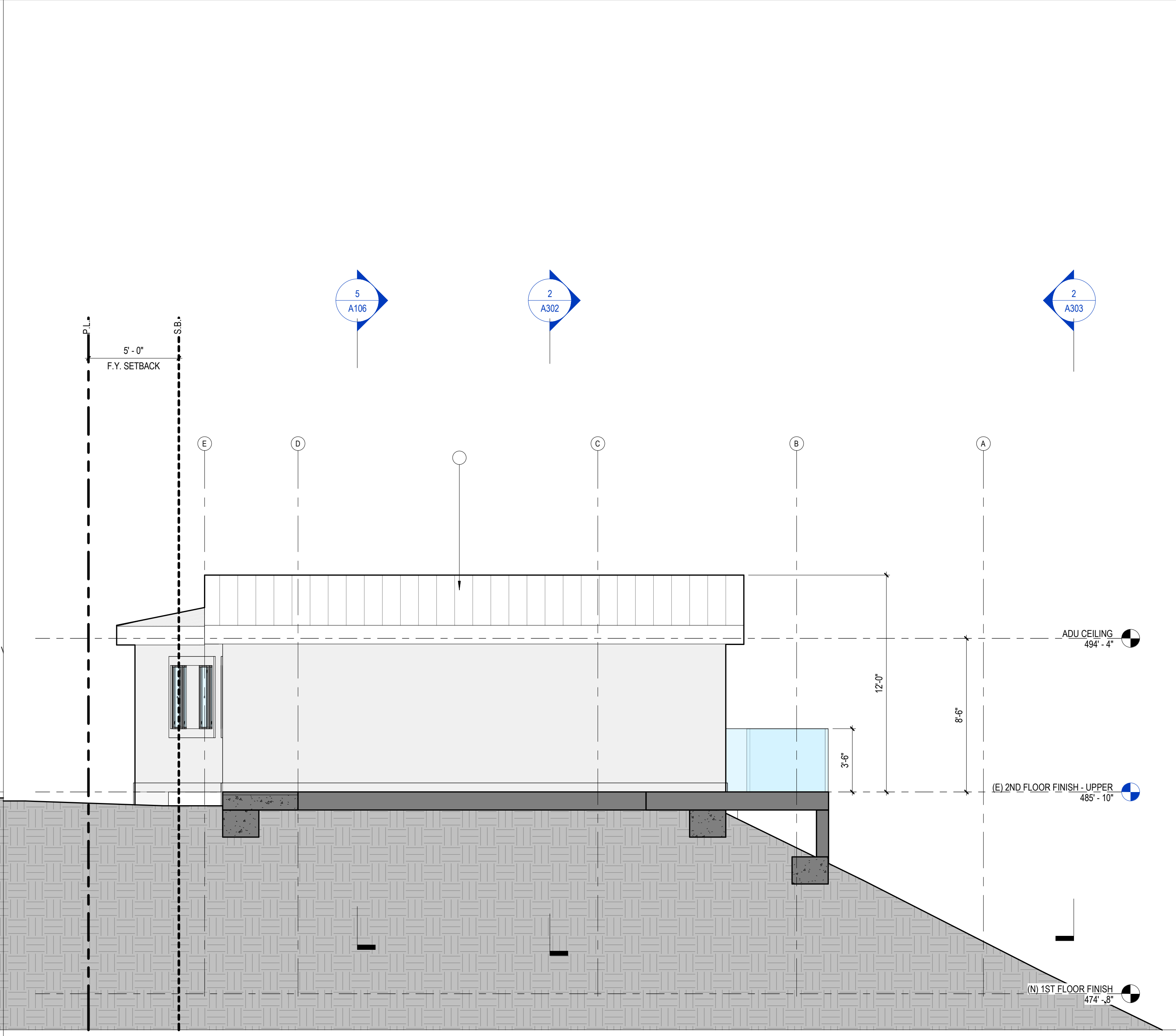
Palisair Board of Directors





- PLAN LEGEND**
- WALL TYPES**
- DEMOLITION WALL
 - NEW WALL
 - EXISTING WALL
 - 1 HR FIRE RATED WALL SEE DETAIL ON A50019
 - 1 HR FIRE RATED WALL W/ 50 STC SEE DETAIL ON A50016
- LANDSCAPE / HARDSCAPE**
- CONCRETE PAD
 - LAWN
 - WOOD DECK
 - GRAVEL
- MECHANICAL FAN, MIN. 50 CFM WITH HUMIDISTAT/ ENERGYSTAR COMPLIANT**
- RANGE FAN, 100 CFM. MIN.**
- ELECTRICAL METER**
- GAS METER**
- SMOKE/CARBON MONOXIDE DETECTOR (A002, BUILDING CODE NOTE, FIRE PROTECTION #3, #4)**
- FLOOR DRAIN**
- DOWNSPOUT**
- OVERFLOW**
- WEATHER-BASED IRRIGATION CONTROLLER SPEC A802**
- STEP MARKER**

- KEYNOTES**
- NATURAL GRADE
 - FINISHED GRADE
 - SITE RETAINING WALL (H:10'-0" MAX) (SEE CIVIL PLAN FOR DETAILS)
 - SITE STEM PLANTER WALL (SEE CIVIL PLAN FOR DETAILS)
 - (E) SITE RETAINING WALL, NO CHANGE TO STRUCTURE, RESTUCCO
 - SOLAR ZONE
 - POOL EQUIPMENT
 - SITE FENCE (H: 5'-0")
 - R1 ENCROACHMENT PLANE - 20' FROM F.G.
 - BHD HEIGHT ENVELOPE
 - ROOF EDGE ABOVE
 - GLASS GUARDRAIL, H: 3'-6", SEE SPEC A804 (ICC-ESR-3269)
 - HANDRAIL (SEE DETAIL A5016)
 - FIREPLACE: SEE A806 (ORTAL FIRE, 200H TUNNEL INDOOR- OUTDOOR) DIRECT- VENT, SEALED COMBUSTION TYPE
 - ENERGY STORAGE SYSTEMS (ESS) - SEE SPEC ON A803
 - WEATHER-BASED IRRIGATION CONTROLLER - SEE SPEC ON A803
 - AGING-IN-PLACE BATHROOM: SEE DETAIL 11A500
 - SUBSTANDARD ADDITIONAL HEIGHT REQUIREMENT: NO PORTION OF A BUILDING OR STRUCTURE WITHIN 20 FEET OF THE FRONT LOT LINE SHALL EXCEED 24 FEET IN HEIGHT (MEASURED FROM STREET C.L.)
 - CASEWORK (PER INTERIOR DESIGNER)
 - REFRIGERATOR
 - WASHER / DRYER
 - WASHER
 - DRYER
 - COOKTOP
 - RANGE FAN
 - SKYLIGHT
 - FIRE PIT
 - PROVIDE POOL ALARM (ASTM F2208)
 - TV
 - CLOSET

1 (N) ADU SOUTH ELEVATION
1/4" = 1'-0"2 (N) ADU EAST ELEVATION
1/4" = 1'-0"3 (N) ADU NORTH ELEVATION
1/4" = 1'-0"4 (N) ADU WEST ELEVATION
1/4" = 1'-0"

PLAN LEGEND

WALL TYPES

- DEMOLITION WALL
- NEW WALL
- EXISTING WALL
- 1 HR FIRE RATED WALL
SEE DETAIL ON A50019
- 1 HR FIRE RATED WALL W/ 50 STC
SEE DETAIL ON A50016

LANDSCAPE / HARDSCAPE

- CONCRETE PAD
- LAWN
- WOOD DECK
- GRAVEL

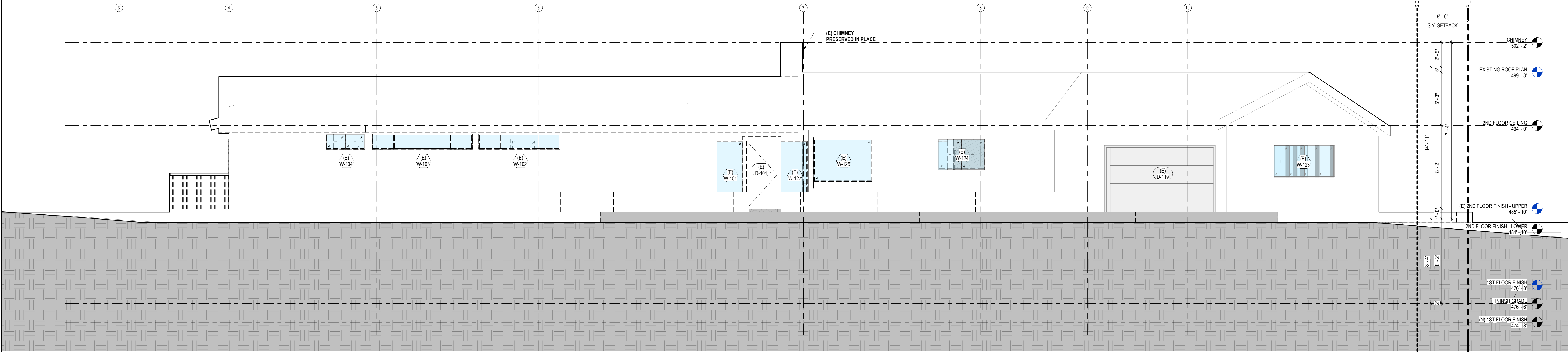
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- RANGE FAN, 100 CFM, MIN.
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- FLOOR DRAIN
- DOWNSPOUT
- OVERFLOW
- WEATHER-BASED IRRIGATION CONTROLLER SPEC A802
- STEP MARKER

MATERIAL, TEXTURE AND COLORS

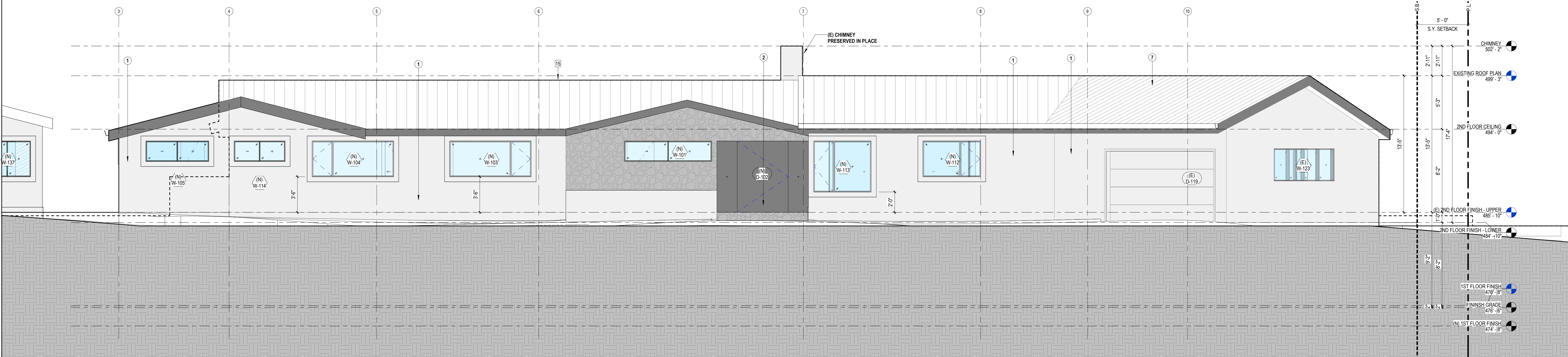
- 1 STUCCO: BONE WHITE
SANTA BARBARA FINISH
ALBEDO APPROX.: 70%
- 2 STUCCO: TOWHEE GREY
SANTA BARBARA FINISH
ALBEDO APPROX.: 15%
- 3 STUCCO: BROWN
SANTA BARBARA FINISH
ALBEDO APPROX.: 15%
- 4 GLASS RAILING: CLEAR
MANUFACTURER: TBD
ALBEDO APPROX.: 10%
- 5 LOW-E SOLAR CONTROL WINDOW
MANUFACTURER: TBD
- 6 STONE VENEER CLADDING
COURSED ASHLAR PATTERN, LIGHT LIMESTONE LOOK
- 7 STANDING SEAM METAL ROOF
METAL PRODUCTS: SPANLOK HP 16" STRIATED
METAL COLORS: MIDNIGHT BRONZE
- 8 BOARD AND BATTEN SIDING
FIBER CEMENT BOARD
- 9 SIDING: WOOD SIDING
ARCHITECTURAL WALL PANELS
VINTAGEWOOD - WOOD SERIES

KEYNOTES

- NATURAL GRADE
- FINISHED GRADE
- SITE RETAINING WALL (H:10'-0" MAX) (SEE CIVIL PLAN FOR DETAILS)
- SITE STEEP/PLANTER WALL (SEE CIVIL PLAN FOR DETAILS)
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- REFRIGERATOR
- WASHER / DRYER
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- DRYER
- COOKTOP
- RANGE FAN
- SKYLIGHT
- FIRE PIT
- PROVIDE POOL ALARM (ASTM F2208)
- TV
- CLOSET



1 (E) NORTH ELEVATION
1/4" = 1'-0"



3 (N) NORTH ELEVATION
1/4" = 1'-0"

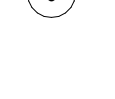
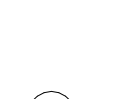
ELEVATION NOTES

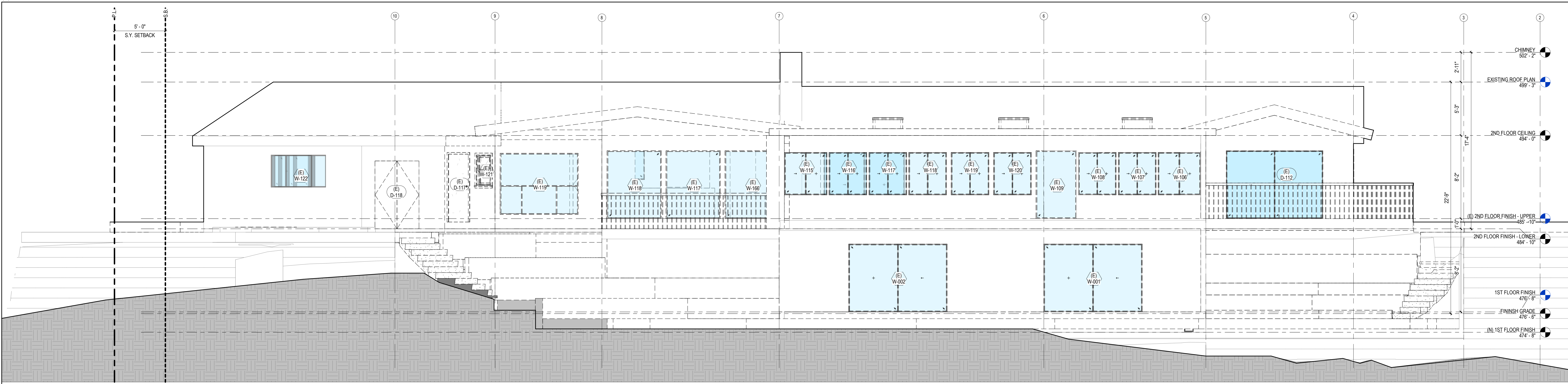
- CONTRACTOR TO FIELD VERIFY BUILDING HEIGHTS, BUILDING MATERIALS, WINDOW AND DOOR LOCATIONS AND THE ALLOWABLE BUILDING ENVELOPE. INFORM ARCHITECT OF ANY DISCREPANCIES
- CONTRACTOR TO COORDINATE FINISH SURFACE ELEVATIONS OF ALL HARDSCAPE WITH LANDSCAPE AND CIVIL DRAWINGS. INFORM ARCHITECT OF ANY DISCREPANCIES
- AT STUCCO (CEMENT PLASTER), PROVIDE CONTINUOUS METAL WEEP SCREED AS REQUIRED BY CODE, SEC R703.6.2.1, SEE DETAILS
- MECHANICALLY ATTACHED STONE AND BRICK, PROVIDE FLASHING AND MINIMUM 3/8" DIA. WEEP HOLES AT 30" MIN. O.C. AS REQUIRED PER SEC R703.7.2
- STONE INSTALLATION SYSTEM SHALL BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION
- ALL DIMENSIONS ARE TO FINISH UNLESS OTHERWISE NOTED
- STRUCTURE SHALL COMPLY TO LOCAL GOVERNING HIGH FIRE HAZARD SEVERITY ZONE AS REQUIRED
- UNDER-FLOOR VENTS OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/8-IN. MINIMUM AND 1/4-IN. MAXIMUM OPENING. (R408)
- PROVIDE REQUIRED WALL AND ROOF INSULATION PER T24 REPORT, SEE A030, A031

KEYNOTES

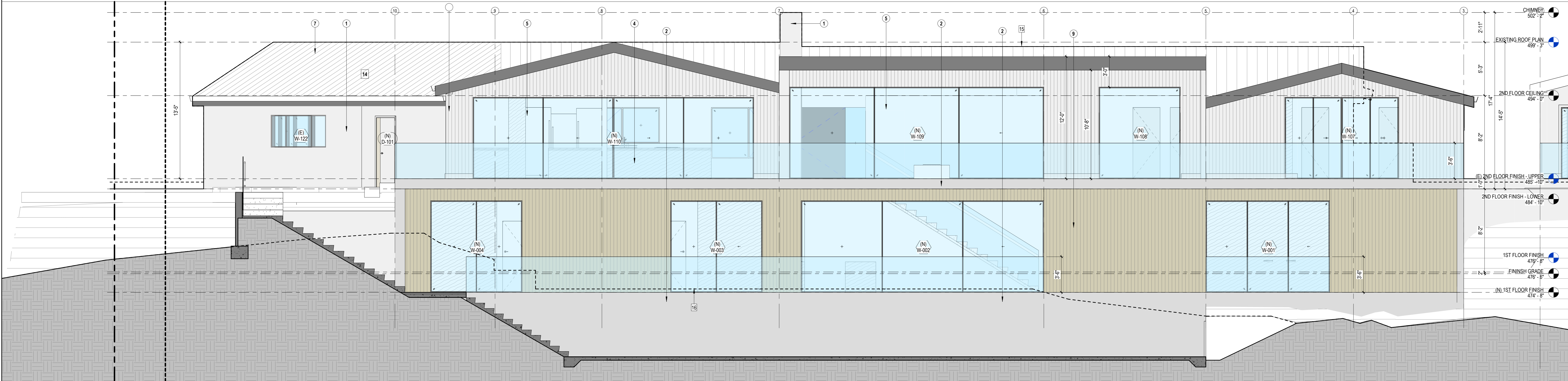
- FINISHED GRADE
- REPAIR (E) ROOF WITH (N) STANDING SEAM METAL ROOF, SEE SEPC. ON A800
- RE-STUCCO (E) WALL, WITH 3-COAT CEMENT LASTER, COLOR AND TEXTURE TO MATCH (E) MAIN HOUSE
- EAVE: 2X6 D.F. PAINT GRADE T&G, PAINT COLOR TO MATCH (E) MAIN HOUSE
- (E) CMU WALL, NO CHANGE
- NEW ATTIC VENT, DORMER VENTS, BH24 (12 X 24 SQUARE TAIL), SEE SPECS ON SHEET A800
- REPAIR (E) GUTTER, TYP.
- EGRESS WINDOW, PROVIDE:
A. 20" MIN. CLEAR HEIGHT IN OPENING
B. 20 MIN. CLEAR WIDTH IN OPENING
C. 5 SF MIN. CLEAR AREA
- CLASS A STANDING SEAM METAL ROOF, SEE SEPC. ON A800
- (N) STUCCO, WITH 3-COAT CEMENT LASTER, COLOR AND TEXTURE TO MATCH (E) MAIN HOUSE
- (N) DOWNSPOUT
- (N) GUTTER WITH CORROSION RESISTANT 1" HEXAGON MESH WIRE. TYPICAL
- SKYLIGHT
- STANDING SEAM METAL ROOF
- EXISTING HOUSE OUTLINE
- EXISTING GRADE

MATERIAL, TEXTURE AND COLORS

-  **STUCCO: BONE WHITE**
SANTA BARBARA FINISH
ALBEDO APPROX.: 70%
-  **STUCCO: TOWNHIE GREY**
SANTA BARBARA FINISH
ALBEDO APPROX.: 15%
-  **STUCCO: BROWN**
SANTA BARBARA FINISH
ALBEDO APPROX.: 15%
-  **GLASS RAILING: CLEAR**
MANUFACTURER: TBD
ALBEDO APPROX.: 10%
-  **LOW-E SOLAR CONTROL WINDOW**
MANUFACTURER: TBD
-  **STONE VENEER CLADDING**
COURSED ASHLAR PATTERN, LIGHT LIMESTONE LOOK
-  **STANDING SEAM METAL ROOF**
METAL PRODUCTS: SPAN-LOK HP 16" STRIATED
METAL COLORS: MIDNIGHT BRONZE
-  **BOARD AND BATTEN SIDING**
FIBER CEMENT BOARD
-  **SIDING: WOOD SIDING**
ARCHITECTURAL WALL PANELS
VINTAGEWOOD - WOOD SERIES



1 (E) SOUTH ELEVATION
1/4" = 1'-0"



2 (N) SOUTH ELEVATION
1/4" = 1'-0"

ELEVATION NOTES

- A. CONTRACTOR TO FIELD VERIFY BUILDING HEIGHTS, BUILDING MATERIALS, WINDOW AND DOOR LOCATIONS AND THE ALLOWABLE BUILDING ENVELOPE. INFORM ARCHITECT OF ANY DISCREPANCIES
- B. CONTRACTOR TO COORDINATE FINISH SURFACE ELEVATIONS OF ALL HARDSCAPE WITH LANDSCAPE AND CIVIL DRAWINGS. INFORM ARCHITECT OF ANY DISCREPANCIES
- C. AT STUCCO (CEMENT PLASTER), PROVIDE CONTINUOUS METAL WEEP SCREED AS REQUIRED BY CODE, SEC R703.6.2.1, SEE DETAILS
- D. AT MECHANICALLY ATTACHED STONE AND BRICK, PROVIDE FLASHING AND MINIMUM 3/8" DIA. WEEP HOLES AT 30" MIN. O.C. AS REQUIRED PER SEC R703.7.2
- E. STONE INSTALLATION SYSTEM SHALL BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION
- F. ALL DIMENSIONS ARE TO FINISH UNLESS OTHERWISE NOTED
- G. STRUCTURE SHALL COMPLY TO LOCAL GOVERNING HIGH FIRE HAZARD SEVERITY ZONE AS REQUIRED
- H. UNDER-FLOOR VENTS OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/8-IN. MINIMUM AND 1/4-IN. MAXIMUM OPENING. (R409)
- I. PROVIDE REQUIRED WALL AND ROOF INSULATION PER T24 REPORT, SEE A030, A031

KEYNOTES

1. FINISHED GRADE
2. REPAIR (E) ROOF WITH (N) STANDING SEAM METAL ROOF, SEE SEPC. ON A800
3. RESTUCCO (E) WALL, WITH 3-COAT CEMENT LASTER, COLOR AND TEXTURE TO MATCH (E) MAIN HOUSE
4. EAVE: 2X6 D.F. PAINT GRADE T&G, PAINT COLOR TO MATCH (E) MAIN HOUSE
5. (E) CMU WALL, NO CHANGE
6. NEW ATTIC VENT, DORMER VENTS, BH24 (12 X 24 SQUARE TAIL), SEE SPECS ON SHEET A800
7. REPAIR (E) GUTTER, TYP.
8. EGRESS WINDOW, PROVIDE:
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B. 20 MIN. CLEAR WIDTH IN OPENING
C. 5 SF MIN. CLEAR AREA
9. CLASS A STANDING SEAM METAL ROOF, SEE SEPC. ON A800
10. (N) STUCCO, WITH 3-COAT CEMENT LASTER, COLOR AND TEXTURE TO MATCH (E) MAIN HOUSE
11. (N) DOWNSPOUT
12. (N) GUTTER WITH CORROSION RESISTANT 1" HEXAGON MESH WIRE. TYPICAL
13. SKYLIGHT
14. STANDING SEAM METAL ROOF
15. EXISTING HOUSE OUTLINE
16. EXISTING GRADE

MATERIAL, TEXTURE AND COLORS

1. STUCCO: BONE WHITE
SANTA BARBARA FINISH
ALBEDO APPROX.: 70%
2. STUCCO: TOWNSEE GREY
SANTA BARBARA FINISH
ALBEDO APPROX.: 15%
3. STUCCO: BROWN
SANTA BARBARA FINISH
ALBEDO APPROX.: 15%
4. GLASS RAILING: CLEAR
MANUFACTURER: TBD
ALBEDO APPROX.: 10%
5. LOW-E SOLAR CONTROL WINDOW
MANUFACTURER: TBD
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8. BOARD AND BATTEN SIDING
FIBER CEMENT BOARD
9. SIDING: WOOD SIDING
ARCHITECTURAL WALL PANELS
VINTAGEWOOD - WOOD SERIES

SHEET

A201

TITLE

REVISION

DATA

ISSUE
DATE & TIME
DRAWN BY

XINLEI LI, AIA

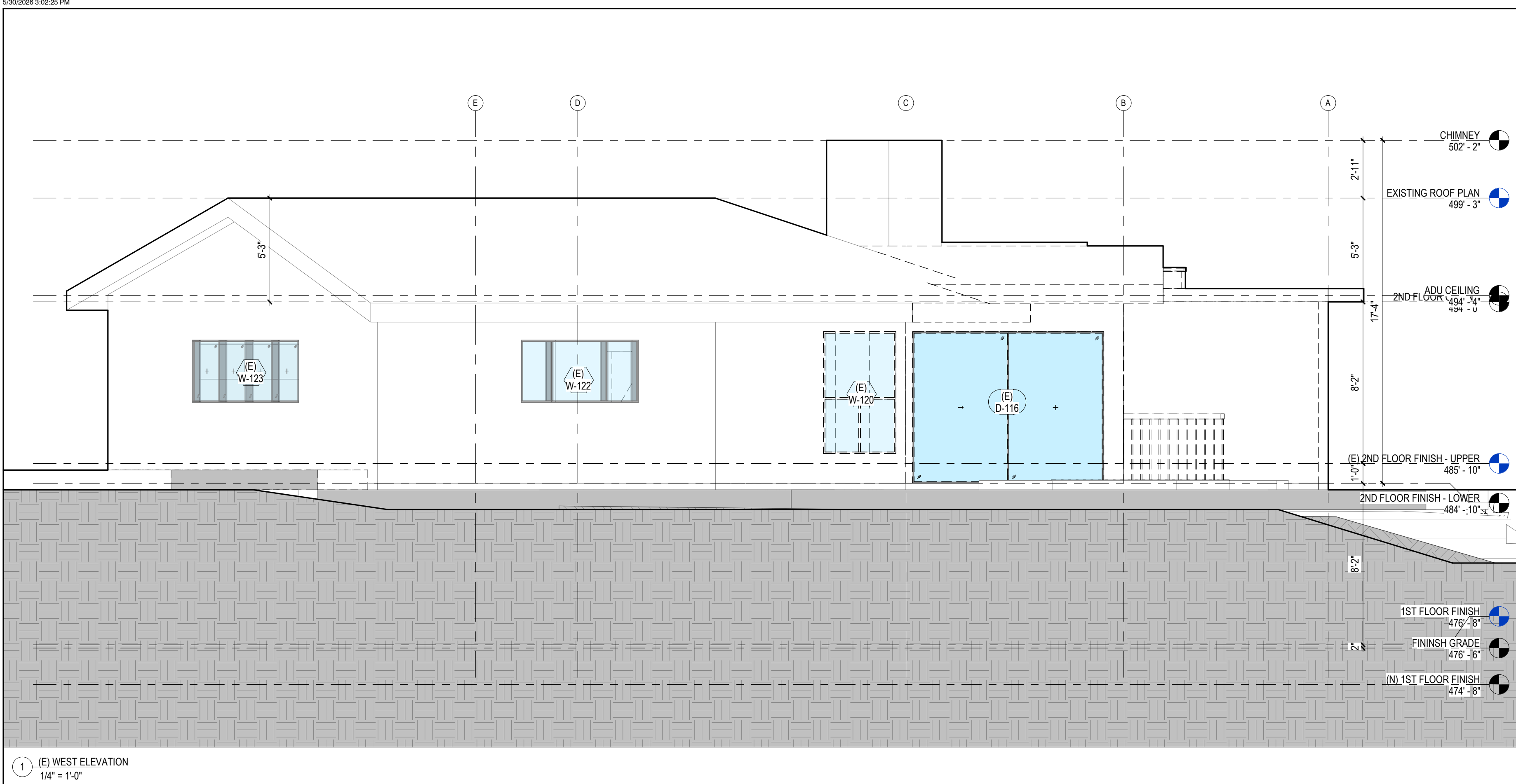
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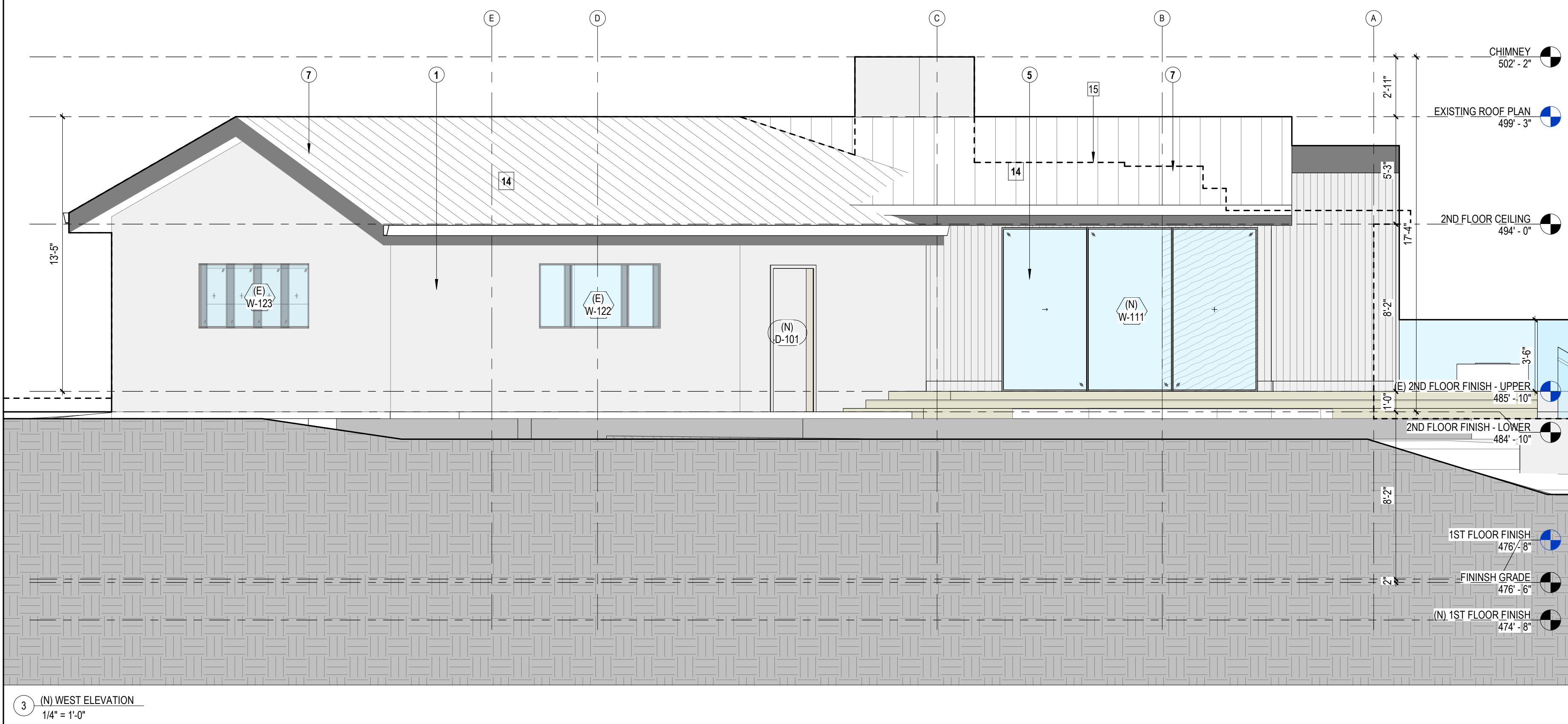
HOUSE REMODEL

16116 ANOKA DR

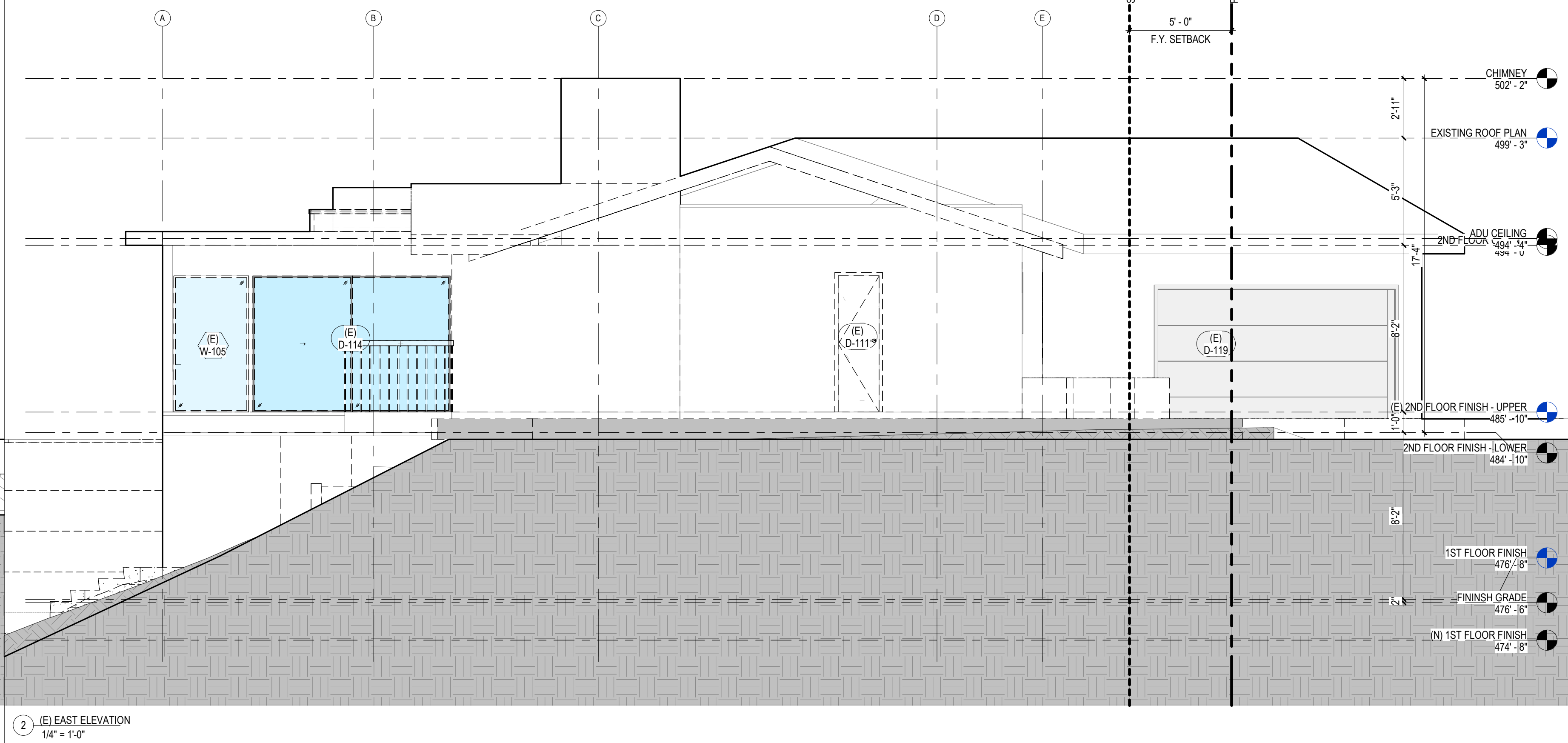
LOS ANGELES, CA 90272



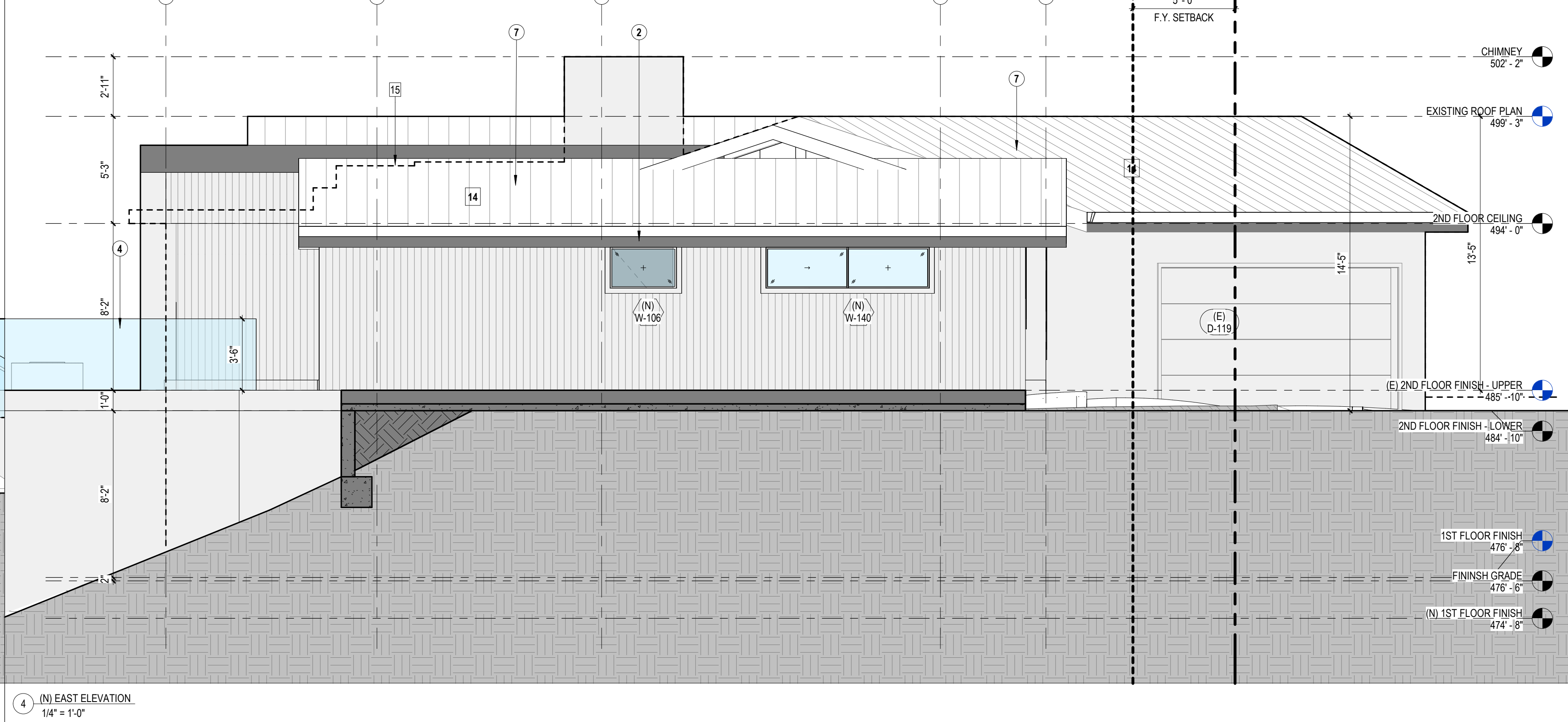
1 (E) WEST ELEVATION
1/4" = 1'-0"



3 (N) WEST ELEVATION
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2 (E) EAST ELEVATION
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4 (N) EAST ELEVATION
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ELEVATION NOTES

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- I. PROVIDE REQUIRED WALL AND ROOF INSULATION PER T24 REPORT, SEE A030, A031

KEYNOTES

1. FINISHED GRADE
2. REPAIR (E) ROOF WITH (N) STANDING SEAM METAL ROOF, SEE SEPC. ON A800
3. RESTUCCO (E) WALL, WITH 3-COAT CEMENT LASTER, COLOR AND TEXTURE TO MATCH (E) MAIN HOUSE
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13. SKYLIGHT
14. STANDING SEAM METAL ROOF
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16. EXISTING GRADE

MATERIAL, TEXTURE AND COLORS

- | | | |
|---|--|---|
| 1 | | STUCCO: BONE WHITE
SANTA BARBARA FINISH
ALBEDO APPROX.: 70% |
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| 8 | | BOARD AND BATTEN SIDING
FIBER CEMENT BOARD |
| 9 | | SIDING: WOOD SIDING
ARCHITECTURAL WALL PANELS
VINTAGEWOOD - WOOD SERIES |

SHEET

A202

TITLE

ELEVATIONS

REVISION

DATA

ISSUE

DATE & TIME

DRAWN BY

NO.

DESCRIPTION

DATE

XINLEI LI, AIA

XINLEI ARCHITECTURE, INC.

16116 ANOKA DR

LOS ANGELES, CA 90078

XINLEI.AIA@GMAIL.COM

213.383.3261

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XINLEI ARCHITECTURE'S WRITTEN PERMISSION.

XINLEI, AIA

HOUSE REMODEL

16116 ANOKA DR

LOS ANGELES, CA 90072



1 STREET VIEW (N)



3 STREET VIEW (N)



5 AERIAL VIEW (N)



2 STREET VIEW (E)



4 STREET VIEW (E)



6 AERIAL VIEW (E)

HOUSE REMODEL

16116 ANOKA DR
LOS ANGELES, CA 90272

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TITLE
RENDERINGS

SHEET
A045



1 AERIAL VIEW (N)



3 BACK YARD (N)



5 ROOF VIEW (N)



2 AERIAL VIEW (E)



4 BACK YARD (E)



6 ROOF VIEW (E)