

Palisair Home Owners Association

A CALIFORNIA NON-PROFIT CORPORATION

www.palisairhoa.org

c/o PMP Management
445 South Figueroa Street, Suite 2310
Los Angeles, California 90071
Care@PMPmanage.com

The association itself is a “Tract Committee”
under the Declaration of Restrictions covering
Tracts 15944, 15948, and 19890, and operates as
such through its Board of Directors and its Officers.

Dear Palisair Homeowner,

The PHOA Board has received plans for the proposed home at **1252 Las Lomas Avenue**. As outlined in Article III, Section 1 of Palisair’s CC&Rs, the Board is required to seek community input on proposed project before making any decisions regarding its approval. The Community Viewing is scheduled for **Saturday, July 18, 2026 at 9:30 AM**.

Renderings provided by the project architect, as well as elevations and available as-builts, are included with this notice for your review.

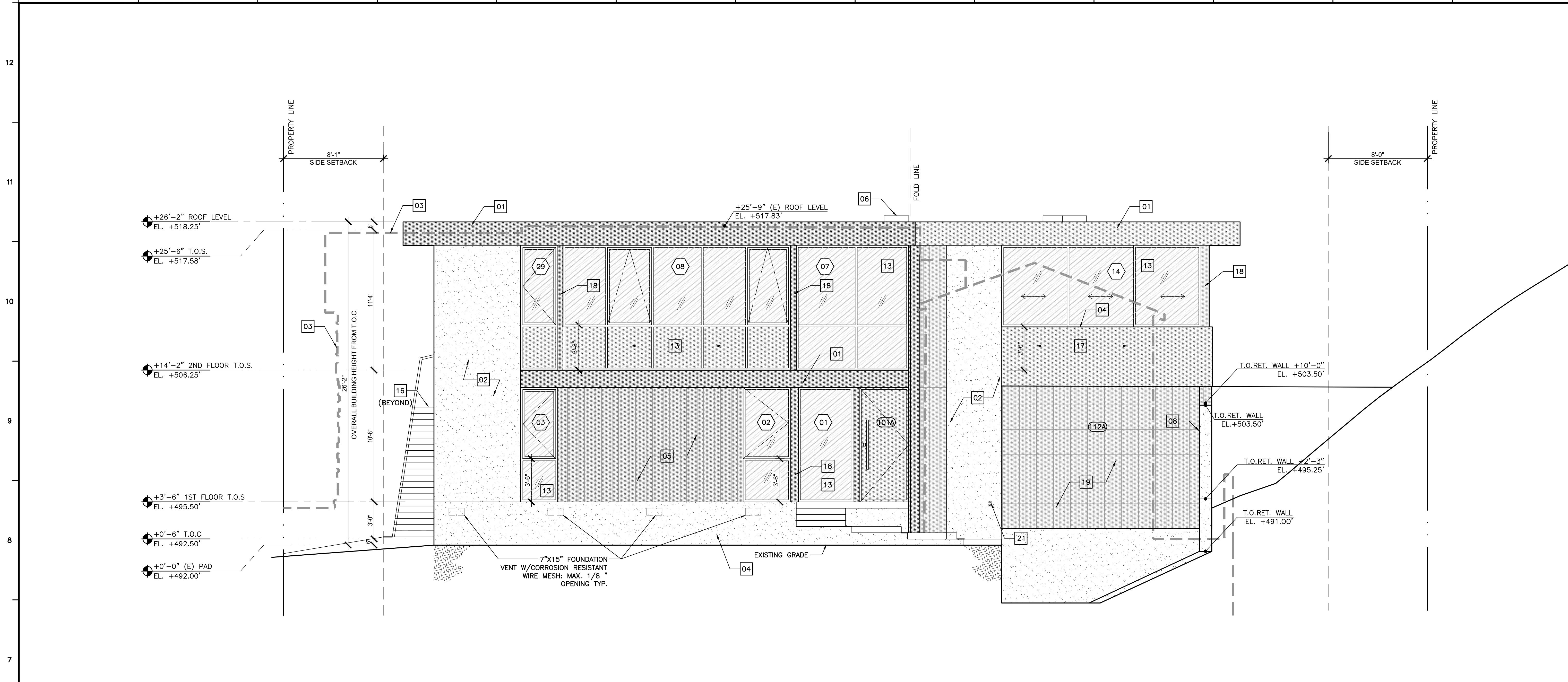
Please send any questions, concerns, or comments you would like the Board to consider when making its decisions to ARussell@PMPmanage.com with the subject line “*1252 Las Lomas Avenue*”.

Please submit your feedback by Monday, August 10, 2026, if you have concerns, questions, or comments. In your written correspondence, note your address as well as the CC&R article and section that you feel the project would violate. If we do not hear from you before we decide on this project, we'll assume that you have no objection to the proposed project.

No decision has been made regarding this submittal. The Board will wait to hear objections, if any, and conduct site visits, if necessary, and then discuss the validity of the project.

Thank you and we look forward to your input.

Palisair Board of Directors



- BUILDING INSULATION SUMMARY:**
- SEE BUILDING SECTIONS A220 & A221;
PER TITLE 24 ENERGY REPORT ON
EN101 & EN102
- TYPICAL ELEVATION NOTES:**
- EXTERIOR CEMENT PLASTER TO BE PROVIDED WITH ANTI-GRAFFITI COATING UP TO 9'-0" ABOVE GRADE - PER LARR #25060 & LOS ANGELES MUNICIPAL CODE SEC.91.6306
 - ALL GLAZING ON WINDOWS, DOORS AND GUARDRAILS TO BE LOW-REFLECTIVITY
- EMERGENCY EGRESS WINDOW**
- 24" MIN. NET CLEAR OPENING HEIGHT
-20" MIN. NET CLEAR OPENING WIDTH
-5.7 SQ. FEET MIN. NET CLEAR OPENING; 5'-0" AT GRADE-FLOOR
-MAX. 44" FROM BOTTOM OF CLEAR OPENING TO FLOOR
- KEYNOTES:**
- 01 FORMED 20 GA. METAL FASCIA W/DARK BRONZE FINISH
 - 02 SMOOTH-TROWELED CEMENT PLASTER W/ANTI-FRACTURE MEMBRANE, TYP.
 - 03 (E) BUILDING OUTLINE
 - 04 CONC' PLANTER W/SMOOTH-TROWELED PLASTER FINISH-SEE N3/A341
 - 05 FIRE-RETARDANT WOOD SIDING OVER GYPSUM SHEATHING
 - 06 (N) SKYLIGHT, SEE DETAILS ON G201
 - 07 (N) ELECTRICAL PANEL/METER
 - 08 (N) CONCRETE RETAINING WALL W/ SMOOTH-TROWELED CEMENT PLASTER FINISH
 - 09 HVAC CONDENSER
 - 10 CONC. DEBRIS CATCHMENT WALL W/ SMOOTH-TROWELED CEMENT PLASTER FINISH
 - 11 (N) CONCRETE DRIVEWAY
 - 12 (E) DRIVEWAY APRON
 - 13 GLAZING- SEE WINDOW/ DOOR SCHEDULES & T-24 REQUIREMENTS
 - 14 (N) AREA OF FILL- SEE CIVIL
 - 15 (N) 42" HIGH TEMPERED GLASS GUARDRAIL-SEE D1/A600
 - 16 (N) CONCRETE STAIR ON GRADE, TOPCAST SAND FINISH W/3/4" HIGH STL. HANDRAIL, PTD.
 - 17 20 GA. METAL PANEL, DARK BRONZE FINISH TO MATCH WINDOW SYSTEM
 - 18 ALUM. BRAKE METAL, DARK BRONZE FINISH TO MATCH WINDOW SYSTEM
 - 19 SECTIONAL GARAGE DOOR W/ FIRE-RETARDANT WOOD CLADDING TO MATCH SIDING
 - 20 STEPLIGHT, TYP.
 - 21 WP GFI OUTLET
 - 22 HOSE BIBB

SOUTH ELEVATION

C7

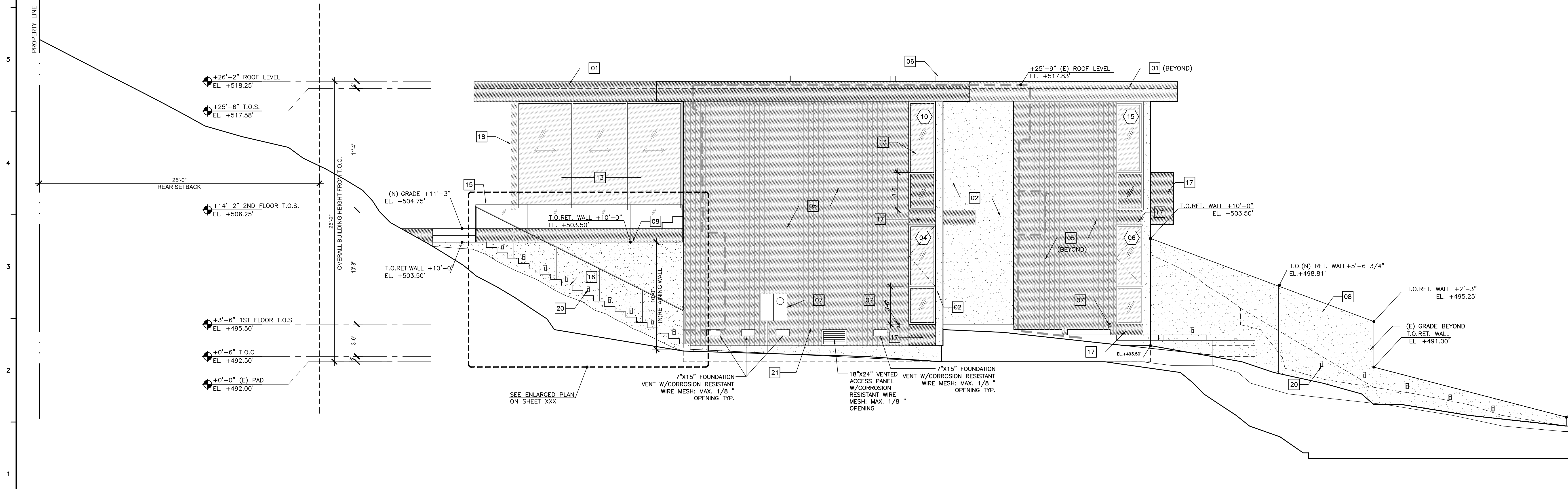
NOTES

A7

UNDERFLOOR VENTILATION:
TOTAL AREA REQUIRED (PER CBC 1203.3 & IRC 408.1):
1/150 X 1,323.60 S.F. = 8.82 SF REQUIRED

8 x 7"x15" FOUNDATION VENTS = 5.84 SF
1 18"x24" VENTED ACCESS PANEL = 3 SF

TOTAL AREA PROVIDED: 8.84 SF



WEST ELEVATION

A1

NO.	DATE	REVISION
00	02.25.2026	HOA SUBMITTAL
01	04.07.2026	HOA RESUBMITTAL
02	05.06.2026	PC SUBMITTAL

C+P ARCHITECTS
8800 VENICE BOULEVARD, SUITE 202
LOS ANGELES, CA 90034
424.266.8836 TEL
424.266.8788 FAX

OWNER:
STEPHAN & MAUREEN ZWEIG
1252 LAS LOMAS
PACIFIC PALISADES, CA 90272

CONTRACTOR:
CRAIG STALEY
WESTLAN CONSTRUCTION

STRUCTURAL ENG:
LABIB FUNK + ASSOC.
319 MAIN STREET
EL SEGUNDO, CA 90245

TITLE 24:
TITLE 24 DATA CORP.
633 MONTEREY TRAIL
FRAZIER PARK, CA 93225

SURVEYOR:
VOORHEIS & VOORHEIS
17049 SUNBURST ST.
NORTHridge, CA 91325

SOILS ENGINEER
GROVER-HOLLINGSWORTH
31129 VIA COLINAS
STE 707
WESTLAKE VILLAGE, CA 91362

CIVIL ENGINEER:
LABIB FUNK + ASSOC.
319 MAIN STREET
EL SEGUNDO, CA 90245

PROJECT TITLE:
1252 LAS LOMAS AVENUE WILDFIRE REBUILD

1252 LAS LOMAS AVENUE LOT No: 44
PACIFIC PALISADES, CA 90272 TRACK No: TR19890

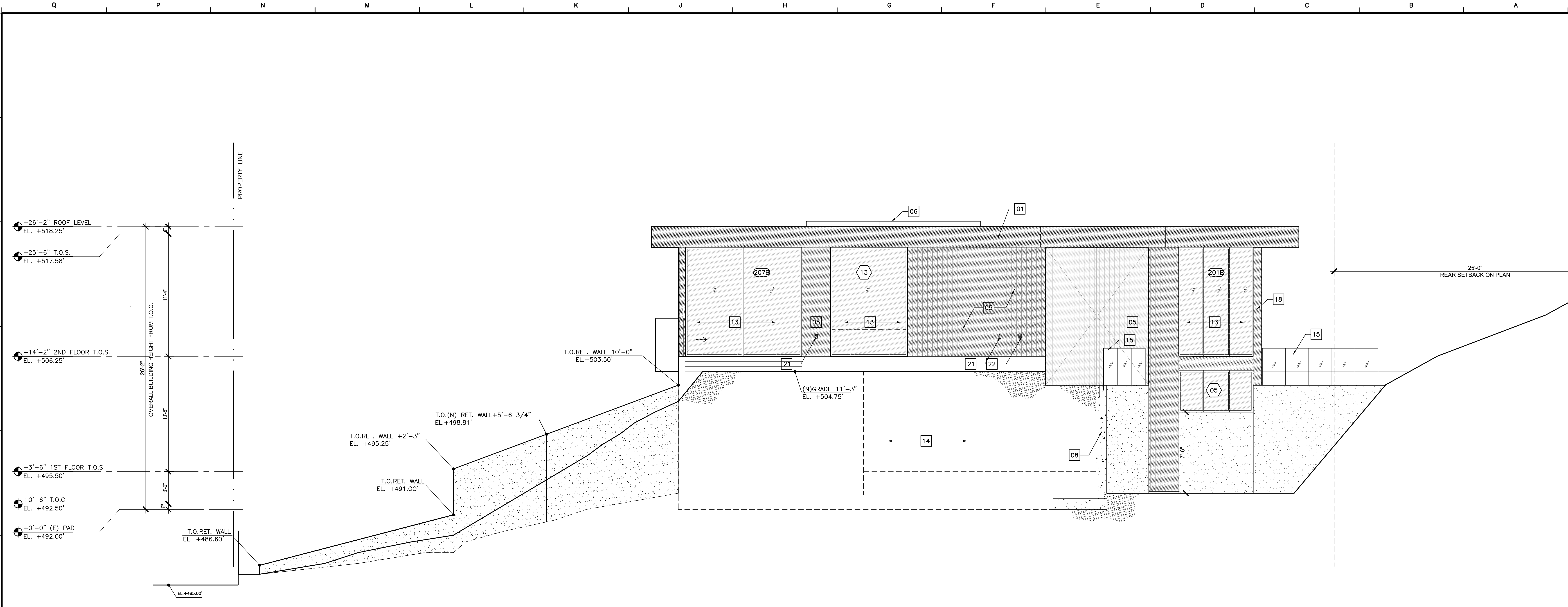
PROJECT No: 2508

DRAWING TITLE:
SOUTH & WEST ELEVATION

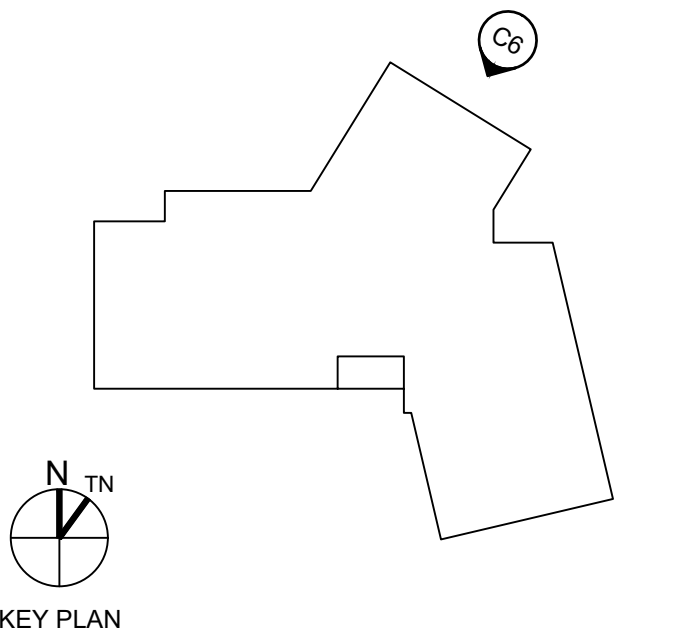
SCALE: 1/4" = 1'-0"

A201

NOT FOR CONSTRUCTION
02.25.2026



NO.	DATE	REVISION
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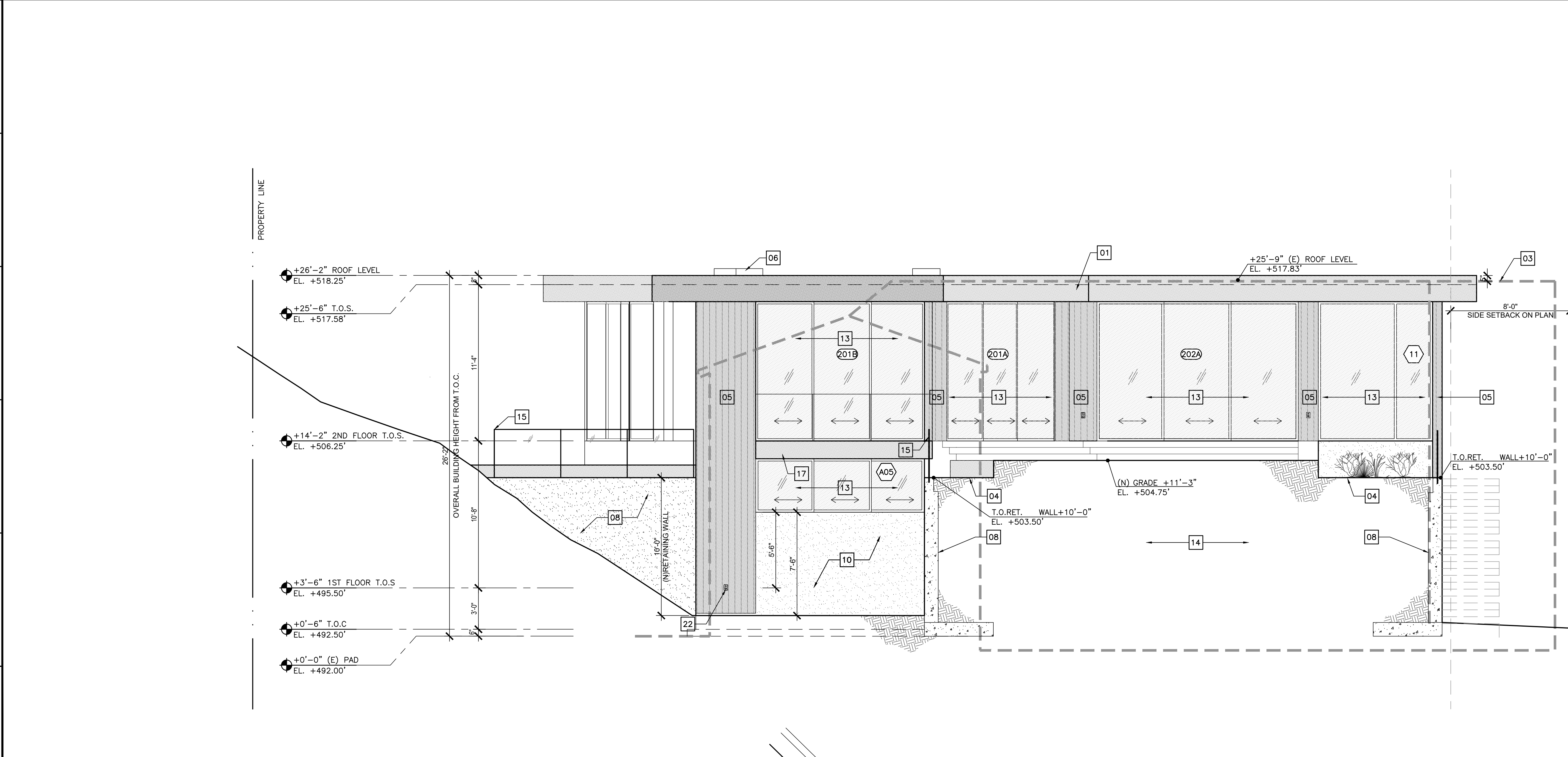
STRUCTURAL ENG:
LABIB FUNK + ASSOC.
319 MAIN STREET
EL SEGUNDO, CA
90245

TITLE 24:
TITLE 24 DATA CORP.
633 MONTEREY TRAIL
FRAZIER PARK, CA
93225

EAST ELEVATION

A7

1/4" = 1'-0"



BUILDING INSULATION SUMMARY:
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EN101 & EN102

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NORTH ELEVATION

C1

1/4" = 1'-0"

SURVEYOR:
VOORHEIS & VOORHEIS
17049 SUNBURST ST.
NORTHridge, CA
91325

SOILS ENGINEER
GROVER-HOLLINGSWORTH
31129 VIA COLINAS
STE 707
WESTLAKE VILLAGE, CA
91362

CIVIL ENGINEER:
LABIB FUNK + ASSOC.
319 MAIN STREET
EL SEGUNDO, CA
90245

PROJECT TITLE:

**1252 LAS LOMAS
AVENUE
WILDFIRE REBUILD**

1252 LAS LOMAS AVENUE LOT No: 44
PACIFIC PALISADES, CA 90272 TRACK No: TR19890

PROJECT No: 2508

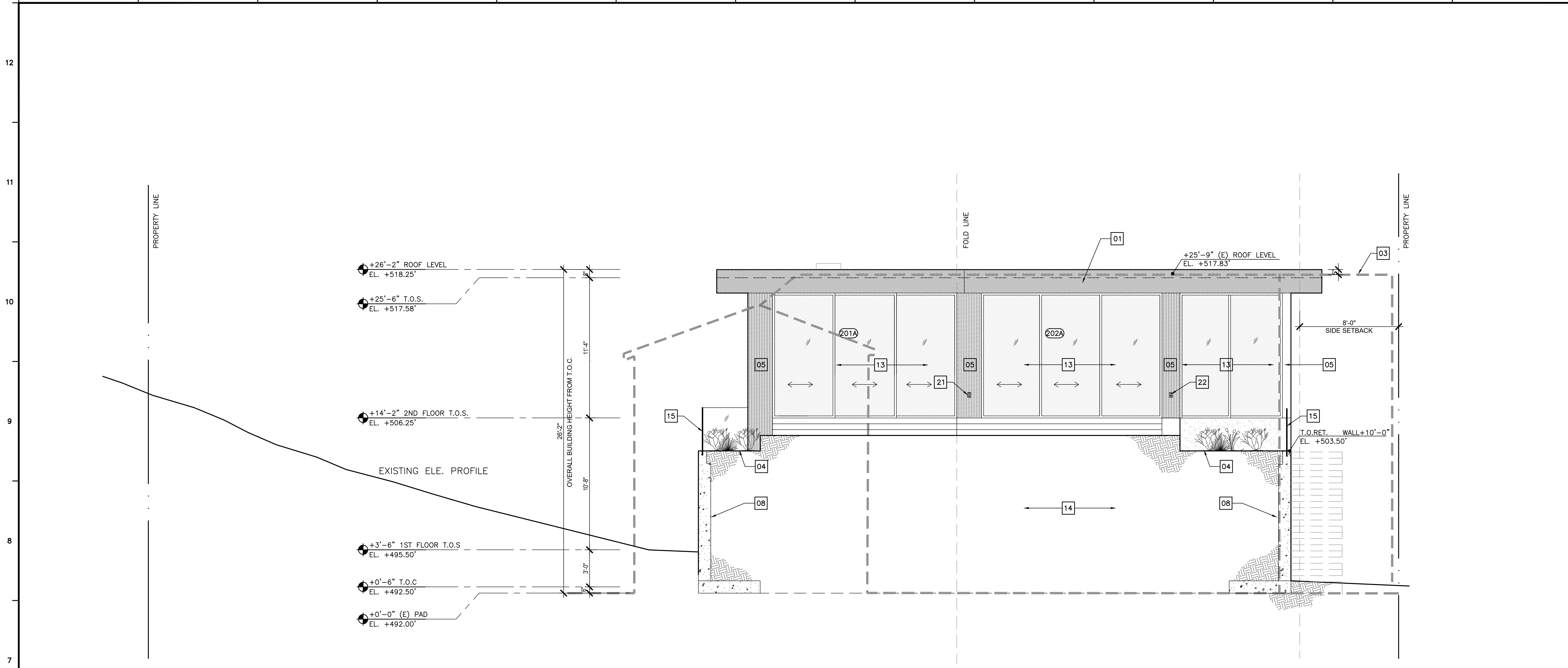
DRAWING TITLE:

**EAST & NORTH
ELEVATION**

SCALE: 1/4" = 1'-0"

A202

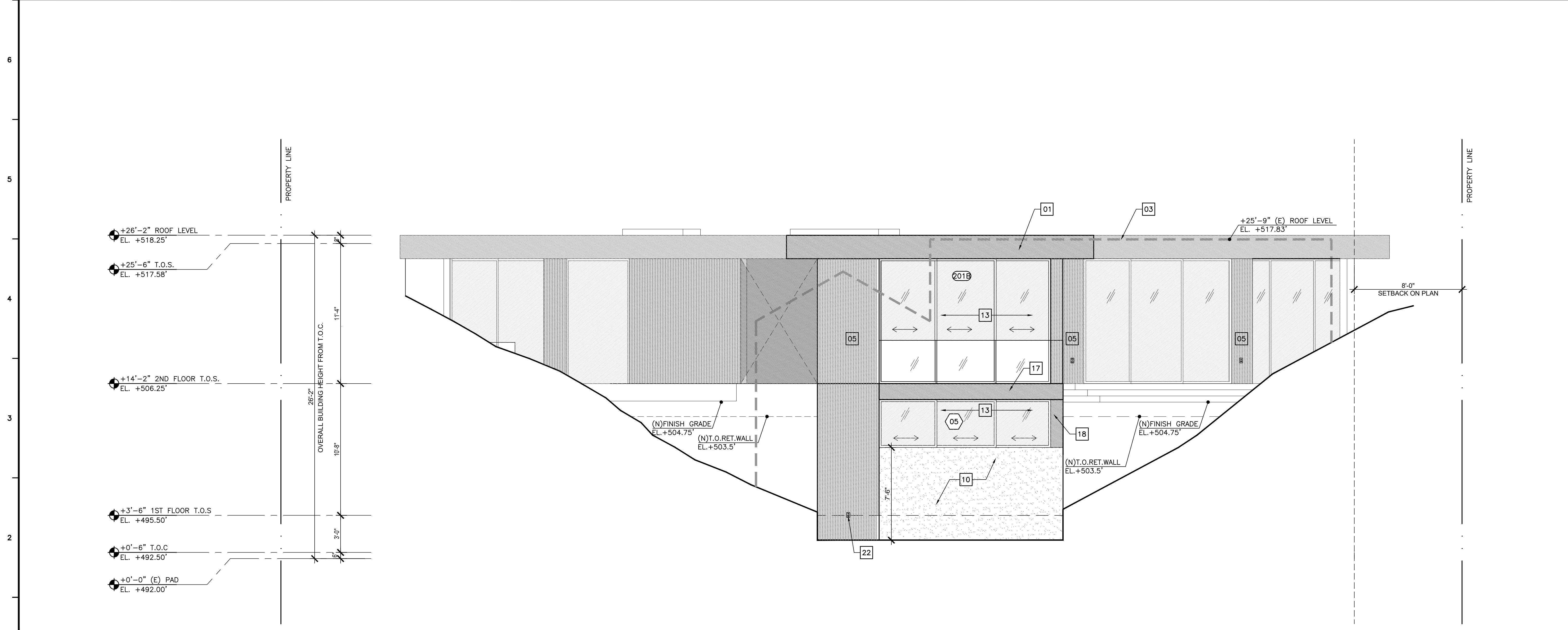
NOT FOR CONSTRUCTION
02.25.2026



NORTH-WEST ELEVATION (UNFOLDED)

C6

1/4" = 1'-0"



NORTH ELEVATION

C1

1/4" = 1'-0"

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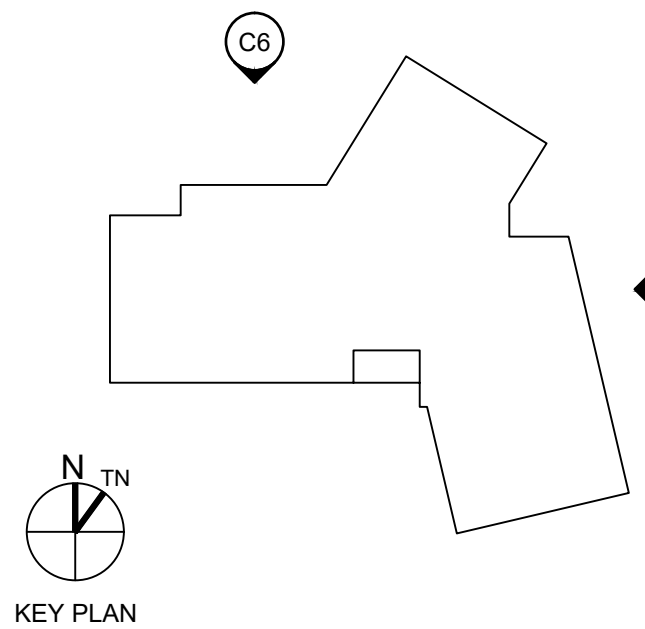
20 STEPLIGHT, TYP.

21 WP GF1 OUTLET

22 HOSE BIBB

NO. DATE REVISION

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01	04.07.2026	HOA RESUBMITTAL
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CONTRACTOR:

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EL SEGUNDO, CA
90245

PROJECT TITLE:

1252 LAS LOMAS
AVENUE
WILDFIRE REBUILD

1252 LAS LOMAS AVENUE LOT No: 44
PACIFIC PALISADES, CA 90272 TRACK No: TR19890

PROJECT No: 2508

DRAWING TITLE:

NORTH & EAST
ELEVATION

SCALE: 1/4" = 1'-0"

A203

NOT FOR CONSTRUCTION
02.25.2026



FOOTPRINT INFORMATION

EXISTING FOOTPRINT: 1,762 SQ.FT.
ALLOWABLE REBUILD FOOTPRINT: 1,762X(1+10%)= 1,938 SQ.FT.
PROPOSED FOOTPRINT= 1,930 SQ.FT. OK
(1st FLOOR)

AREA INFORMATION

EXISTING:	PROPOSED:
EXISTING 1ST FLOOR 1,324 SQ.FT	PROPOSED 1ST FLOOR: 1,490.65SQ.FT.
GARAGE : 438 SQ.FT.	GARAGE: 439.35 SQ.FT.
EXISTING 2ND FLOOR 1,644.5 SQ.FT	PROPOSED 2ND FLOOR: 1,732.16 SQ.FT.
TOTAL GROSS AREA: 3,406.5 SQ.FT	
TOTAL GROSS AREA: 3,662.16 SQ.FT. OK	
ALLOWABLE REBUILDABLE TOTAL AREA: 3,406.5X(1+10%)= 3,747.15 SQ.FT.	

LEGEND

- AREA TO BE FILLED—LANDSCAPE AREA
- DEBRIS CATCHMENT AREA—SEE CIVIL PLAN

KETNOTES:

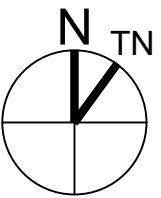
- (N) CONCRETE RETAINING WALL W/ SMOOTH—TROWELED CEMENT PLASTER FINISH
- DEBRIS CATCHMENT AREA— SEE CIVIL
- (E) BUILDING OUTLINE
- (N) LANDSCAPE—SEE LANDSCAPE PLAN
- OVERHANG ABOVE
- (N) CONCRETE STAIR ON GRADE W/ GALV. STL, HANDRAIL, PTD.
- (N) 42" HIGH TEMPERED GLASS RAILING
- (N) SKYLIGHTS
- (N) HVAC CONDENSER
- (N) ELECTRICAL PANEL
- (N) CONCRETE DRIVEWAY
- (E) DRIVEWAY APRON
- (N) CONCRETE WALKWAY
- (N) AREA OF FILL— SEE CIVIL

CONSTRUCTION NOTES

- THE CONSTRUCTION SHALL NOT RESTRICT A 5' CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE W/N 10' OF ANY POWER LINES—WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSE.
- PRIOR TO CONSTRUCTION OF UNDERGROUND UTILITIES, SEPARATE UTILITY EXCAVATION PERMIT TO BE OBTAINED FROM EPWM DEPART., ADMINISTRATIVE SERVICES, CITY HALL RM 113.
- CONNECTIONS TO THE SEWER OR STORM DRAINS REQUIRE A SEWER PERMIT FROM THE CIVIL ENGINEERING AND ARCHITECTURE DIVISION, CITY HALL ROOM 113, PHONE 310.458.8721.
- PROVIDE SAFEGUARDING FEATURES DURING CONSTRUCTION SUCH AS PROTECTION OF ADJOINING PROPERTY AS REQUIRED BELOW AND OTHER ITEMS SUCH AS SITE FENCING AND BARRIERS (CBC 3306, SANITATION (CBC 3305), ETC.

PROJECT NOTES

- FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MINIMUM OF 5% (2% BY IMPERVIOUS SURFACE) FOR A MINIMUM DISTANCE OF 10 FEET OR BY DRAINAGE PER CBC 1804.4



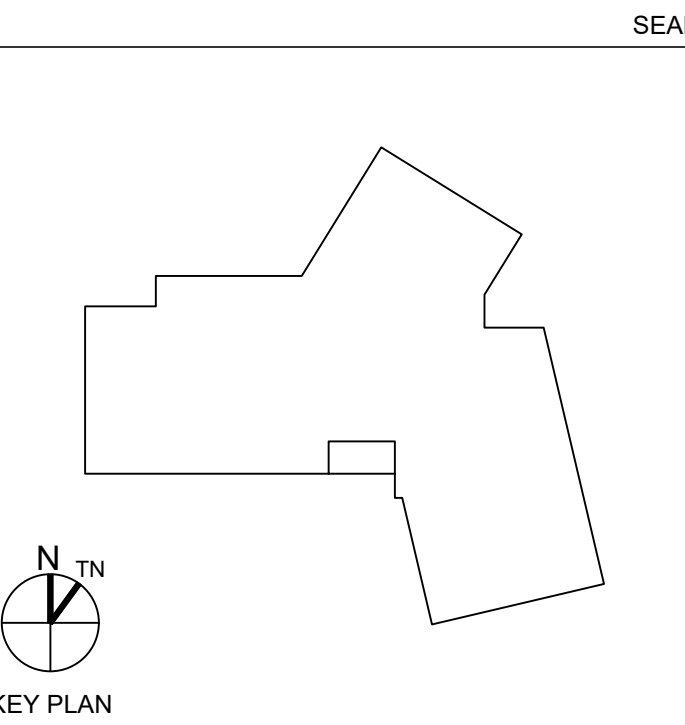
SITE PLAN

E1

SITE PLAN NOTES & LEGEND

A1

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00	02.25.2026	HOA SUBMITTAL
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PROJECT No: 2508

DRAWING TITLE:
SITE PLAN

SCALE: 3/16" = 1'-0"

AS000

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02.25.2026