

Palisair Home Owners Association

A CALIFORNIA NON-PROFIT CORPORATION

www.palisairhoa.org

c/o PMP Management
445 South Figueroa Street, Suite 2310
Los Angeles, California 90071
Care@PMPmanage.com

The association itself is a “Tract Committee” under the Declaration of Restrictions covering Tracts 15944, 15948, and 19890, and operates as such through its Board of Directors and its Officers.

Dear Palisair Homeowner,

The PHOA Board has received plans for the proposed home at **16116 Anoka Drive**. As outlined in Article III, Section 1 of Palisair’s CC&Rs, the Board is required to seek community input on proposed project before making any decisions regarding its approval. The Community Viewing is scheduled for **Saturday, April 20, 2026 at 9:00 AM**.

Renderings provided by the project architect, as well as elevations and available as-builts, are included with this notice for your review.

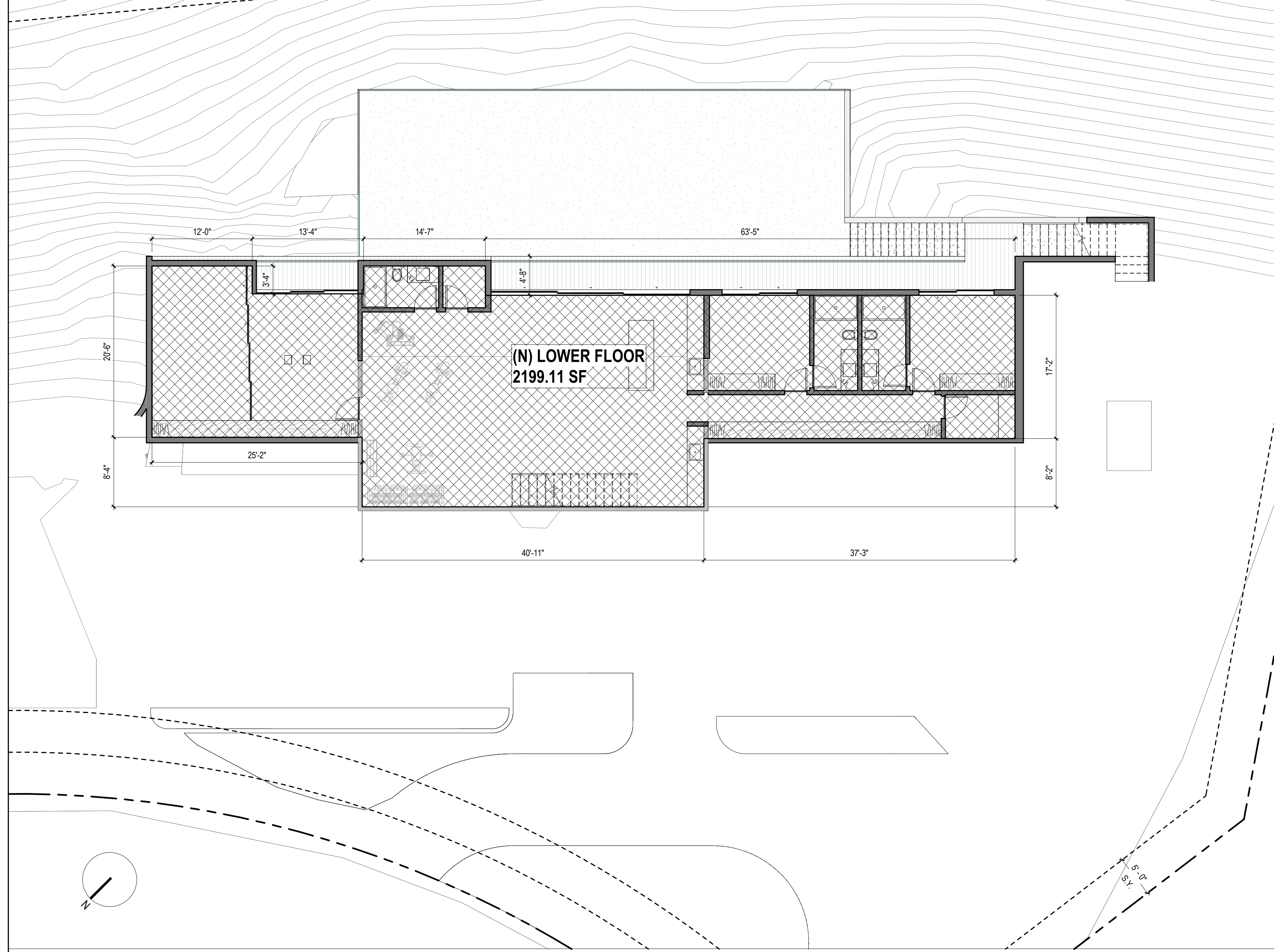
Please send any questions, concerns, or comments you would like the Board to consider when making its decisions to ARussell@PMPmanage.com with the subject line “*16116 Anoka Drive*”.

Please submit your feedback by Friday, May 8, 2026, if you have concerns, questions, or comments. In your written correspondence, note your address as well as the CC&R article and section that you feel the project would violate. If we do not hear from you before we decide on this project, we’ll assume that you have no objection to the proposed project.

No decision has been made regarding this submittal. The Board will wait to hear objections, if any, and conduct site visits, if necessary, and then discuss the validity of the project.

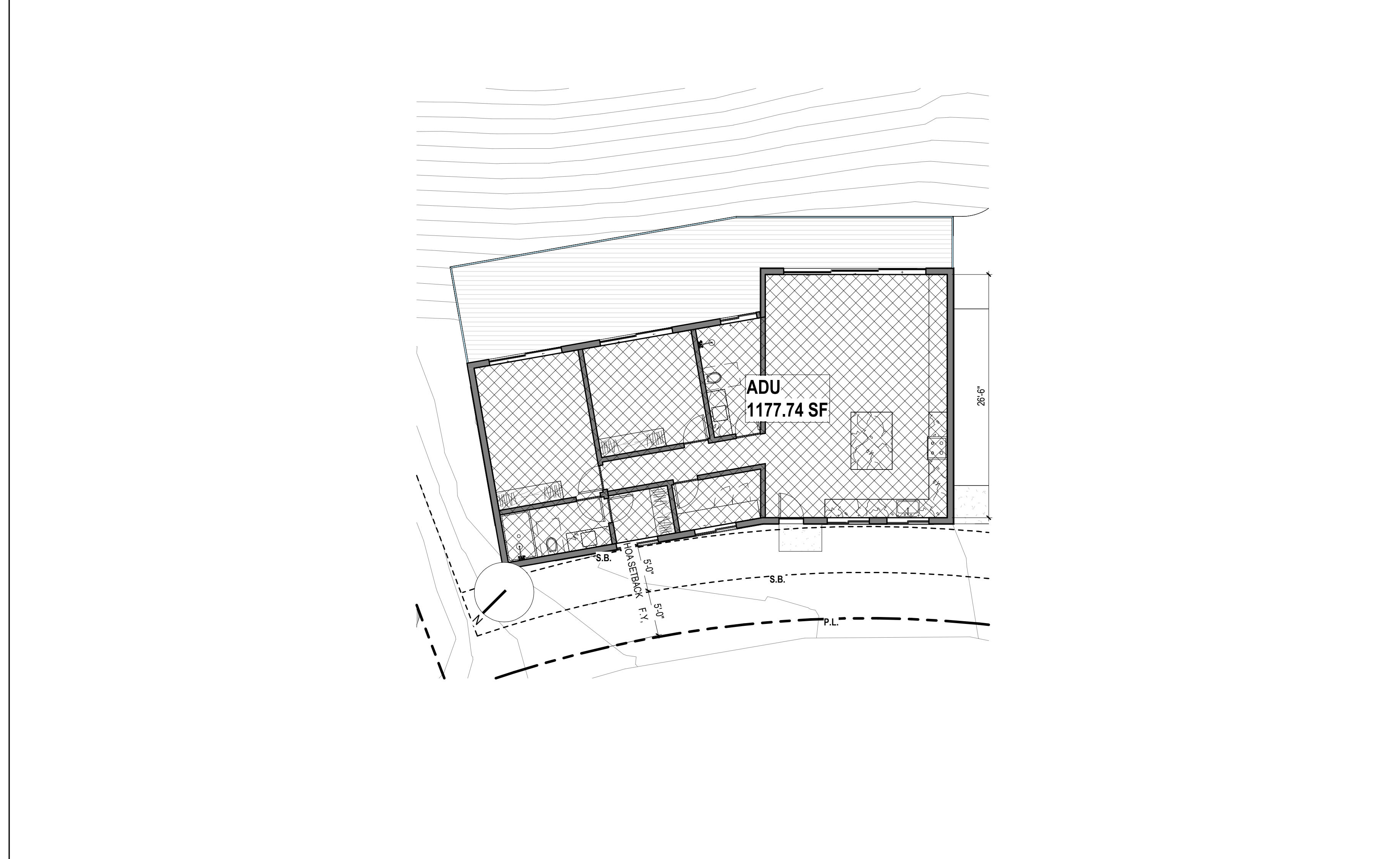
Thank you and we look forward to your input.

Palisair Board of Directors

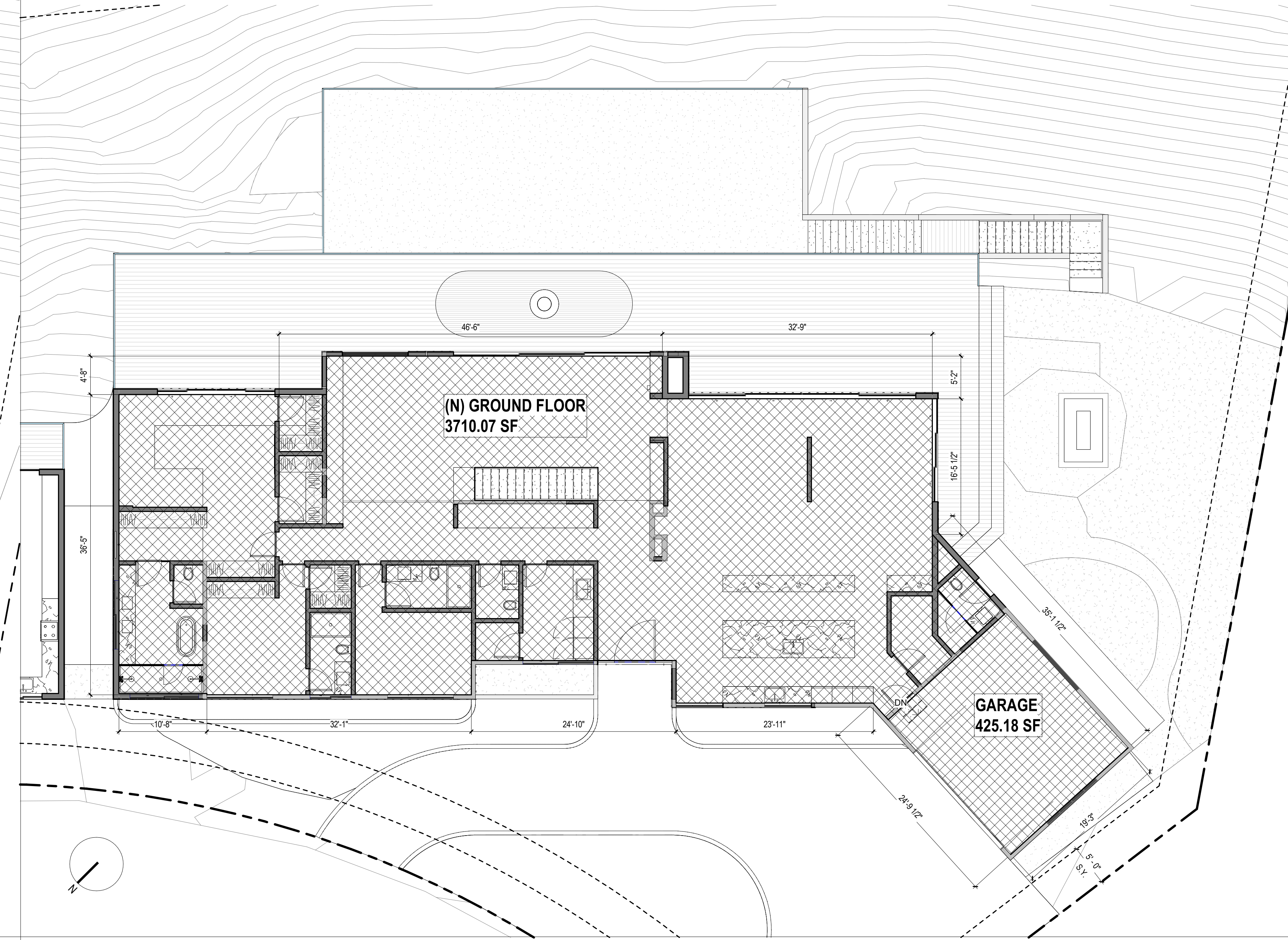


1 AREA - (N) 1ST FLOOR FINISH
1/8" = 1'-0"

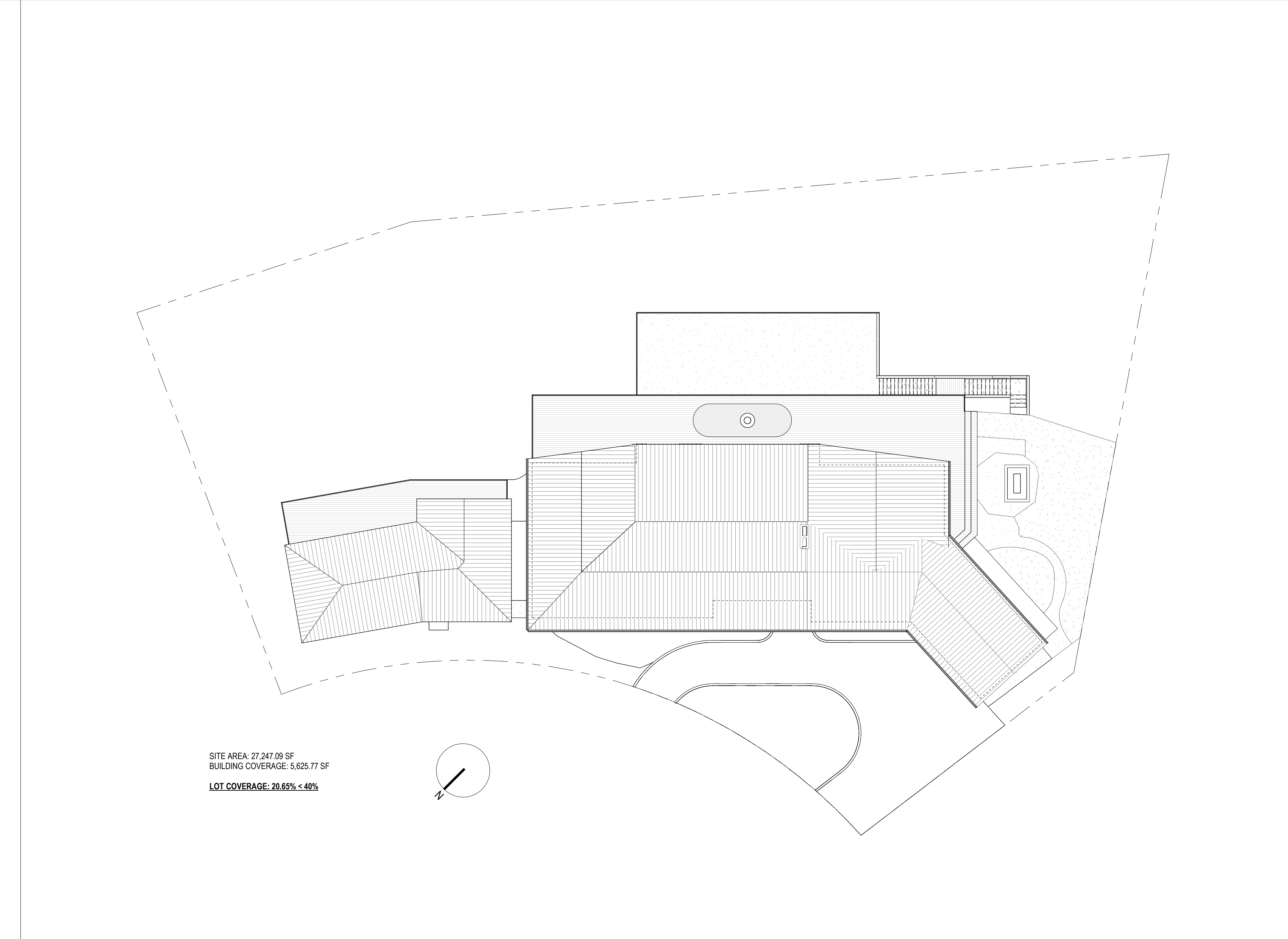
MAIN HOUSE EXISTING:	4,284.14 SF
GROUND FLOOR (EXCLUDE GARAGE):	3,142.92 SF
GROUND FLOOR (GARAGE):	425.18 SF
LOWER FLOOR:	716.04 SF
MAIN HOUSE PROPOSED/REMODELED:	5,909.18 SF (EXCLUDE GARAGE)
GROUND FLOOR (EXCLUDE GARAGE):	3,710.07 SF
GROUND FLOOR (GARAGE):	425.18 SF
LOWER FLOOR:	2,199.11 SF
ADU:	1,177.74 SF



3 AREA - (N) ADU
1/8" = 1'-0"



2 AREA - (N) 2ND FLOOR FINISH
1/8" = 1'-0"



4 LOT COVERAGE
1/16" = 1'-0"

HOUSE REMODEL
16116 ANOKA DR, LOS ANGELES

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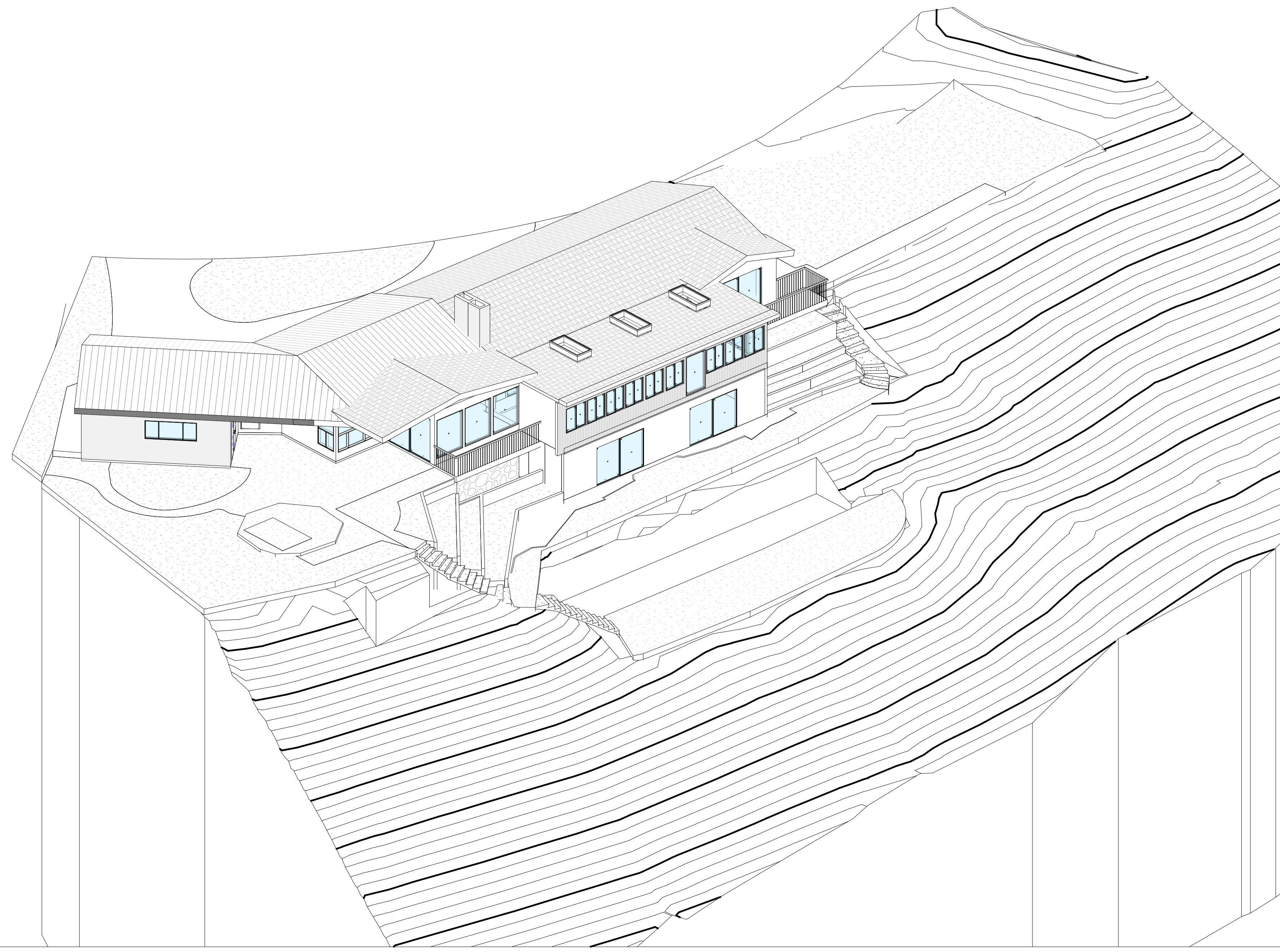
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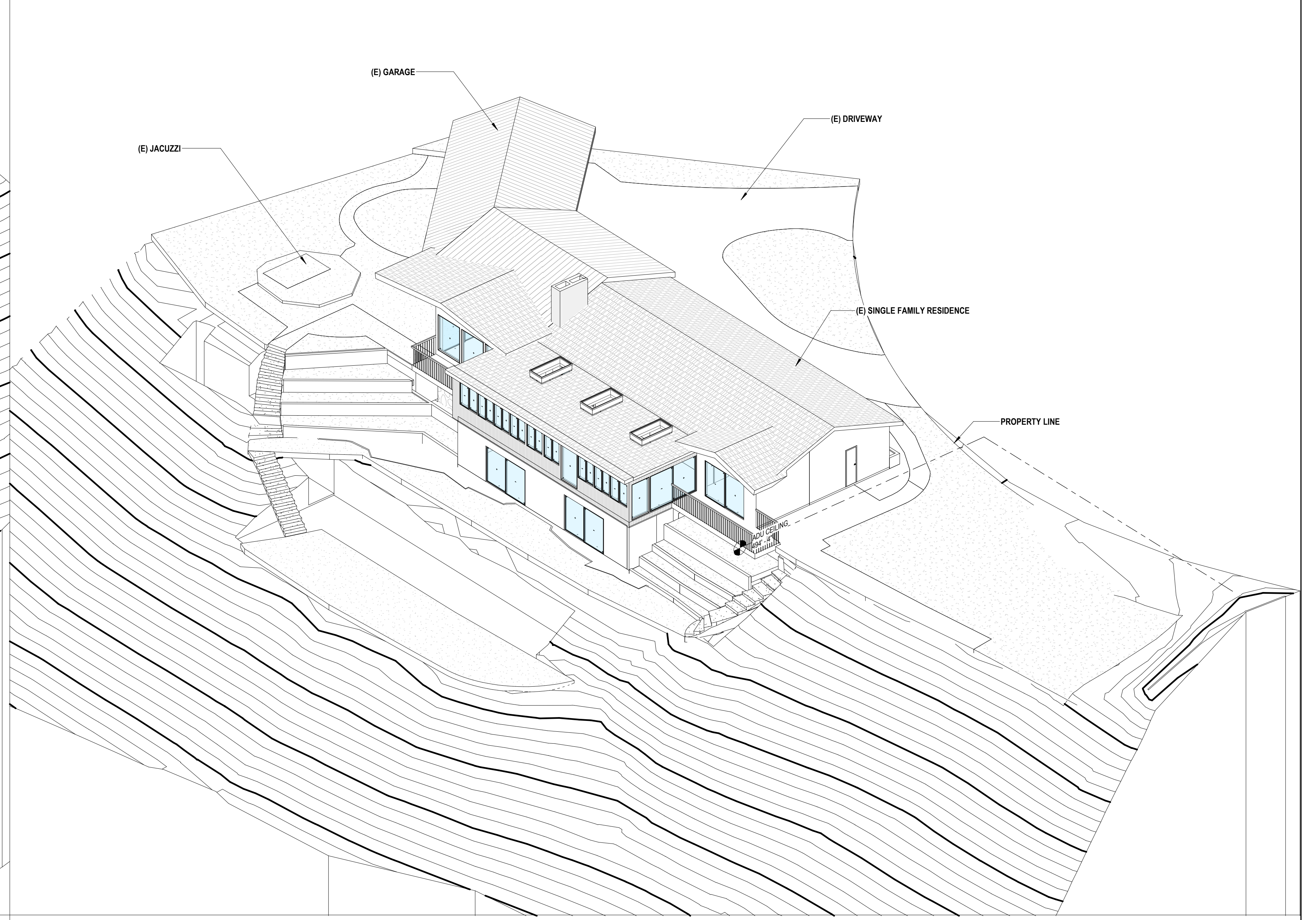
TITLE **RFA DIAGRAM**

A040

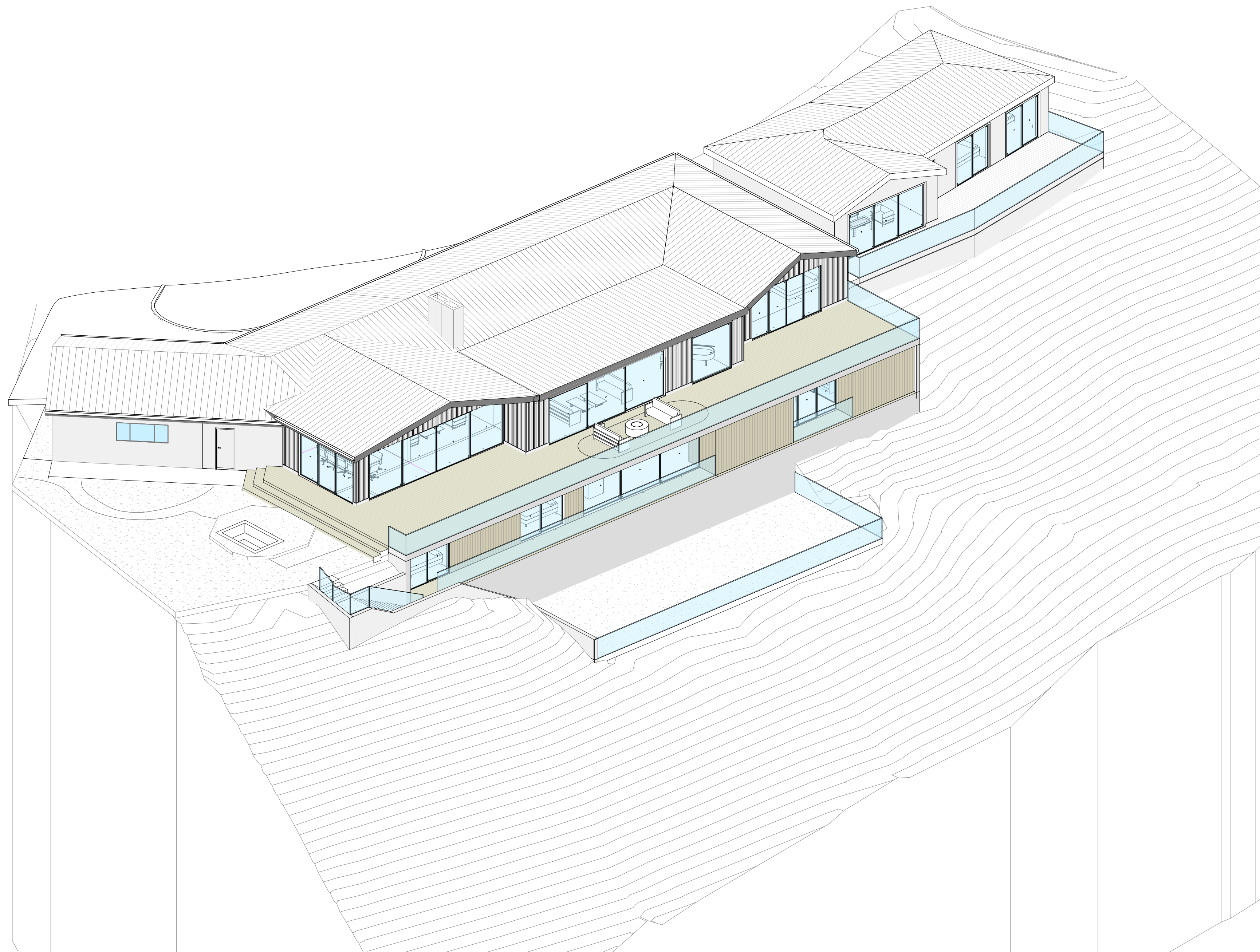
SHEET



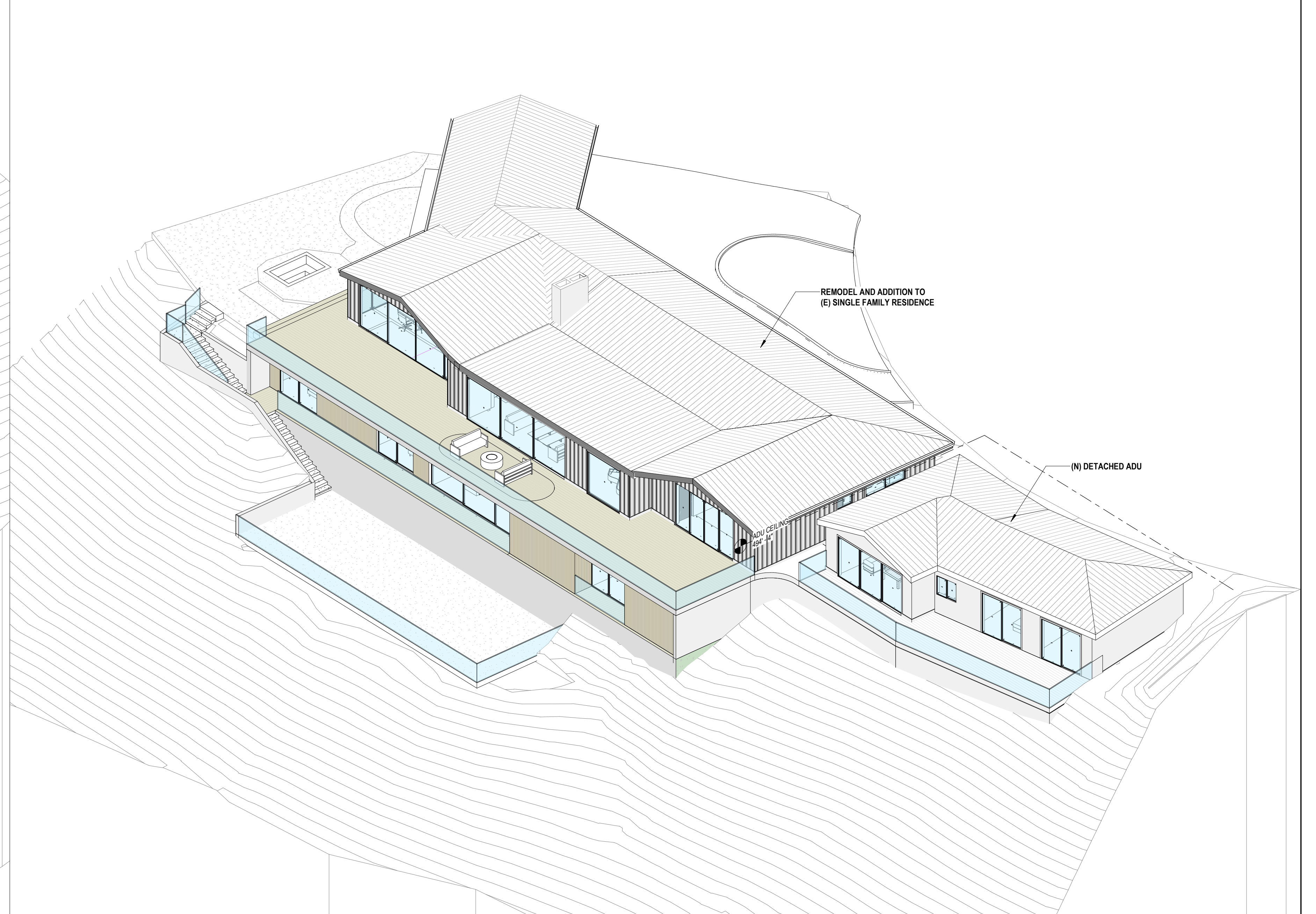
2 AXO VIEW 1, EXISTING



4 AXO VIEW 2, EXISTING



1 AXO VIEW 1, PROPOSED



3 AXO VIEW 2, PROPOSED

HOUSE REMODEL
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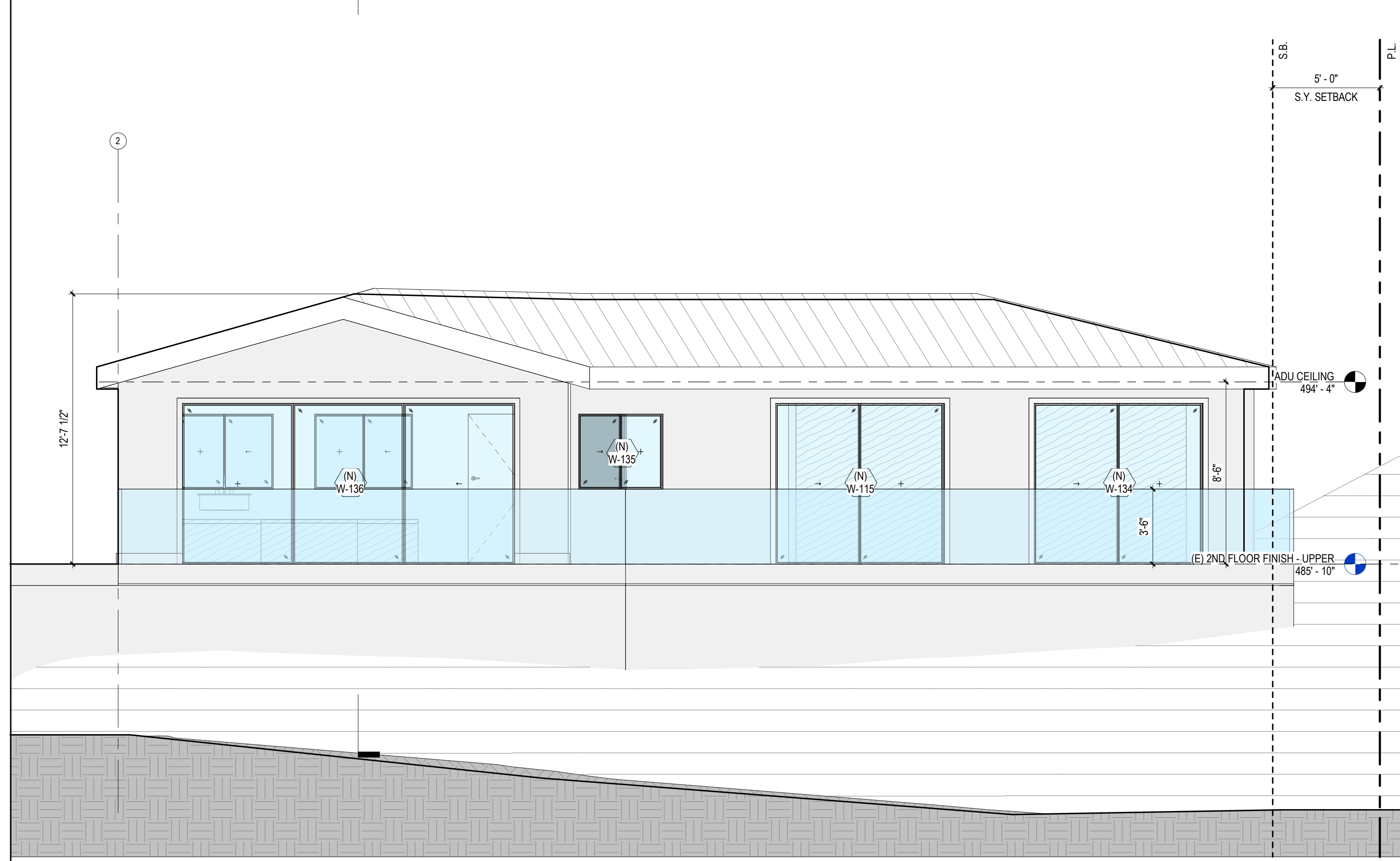
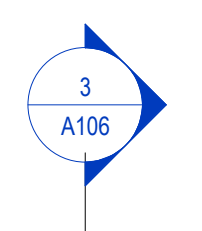
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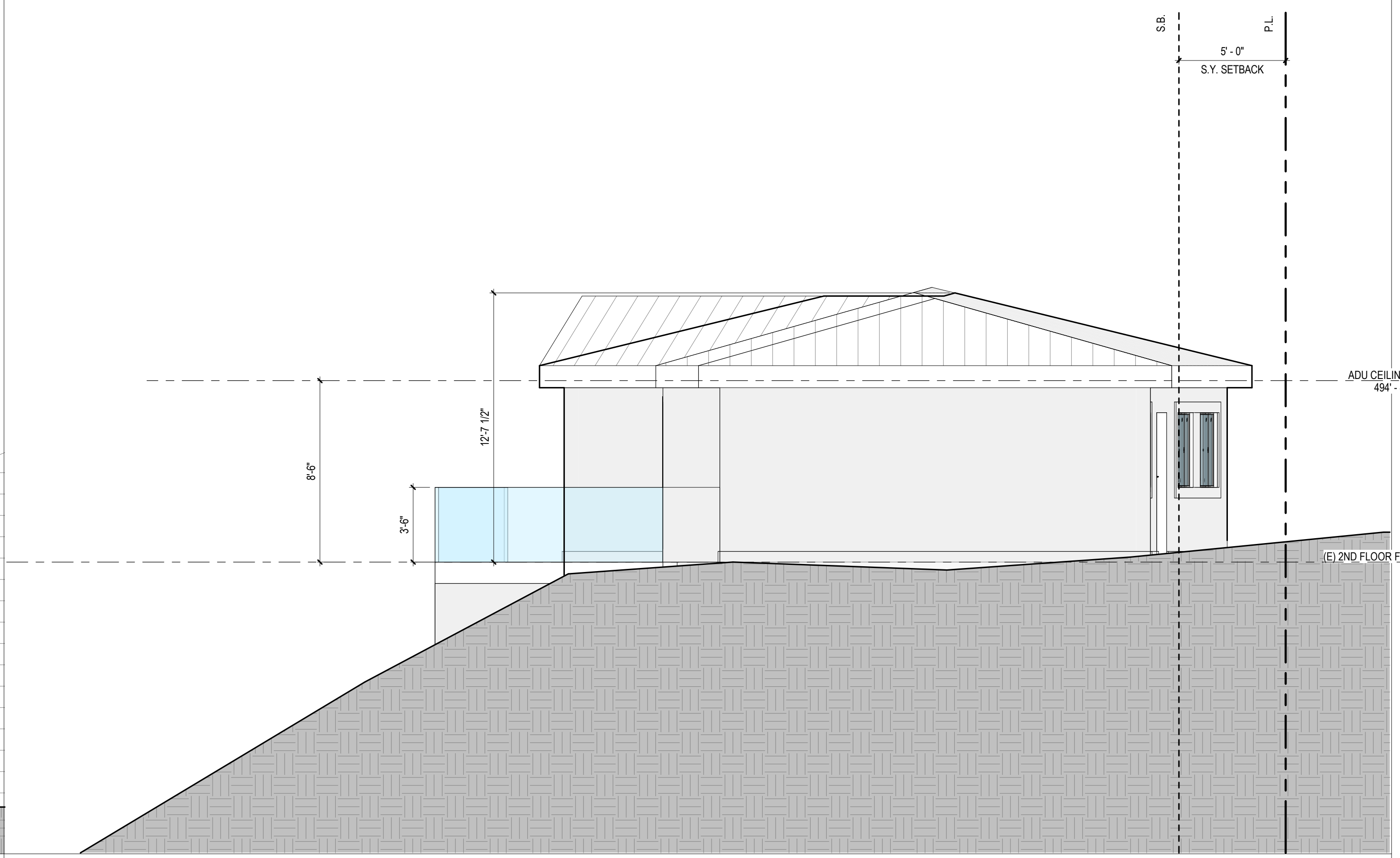
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TITLE
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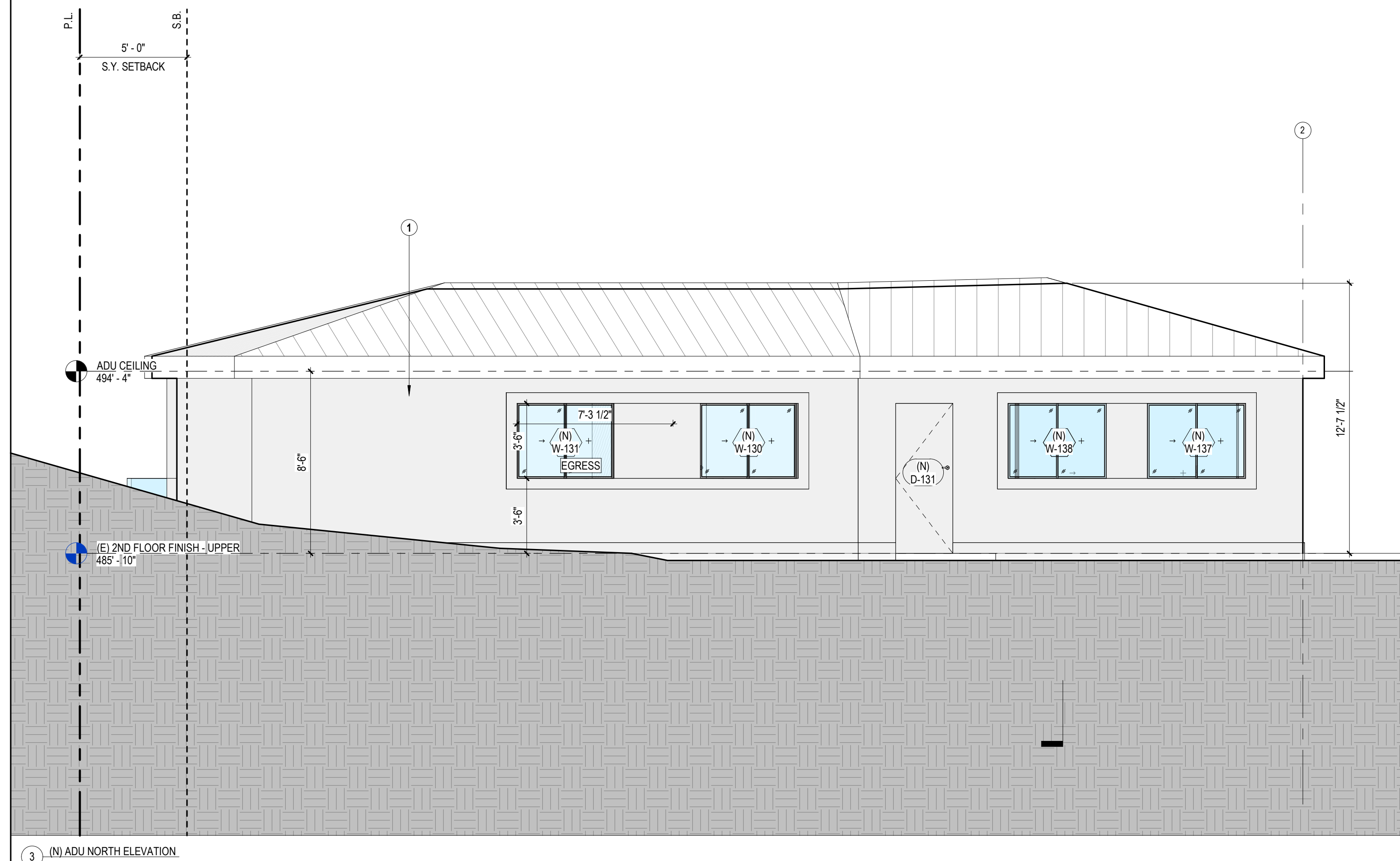
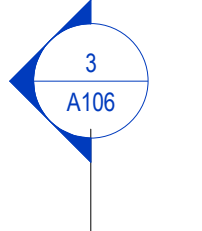
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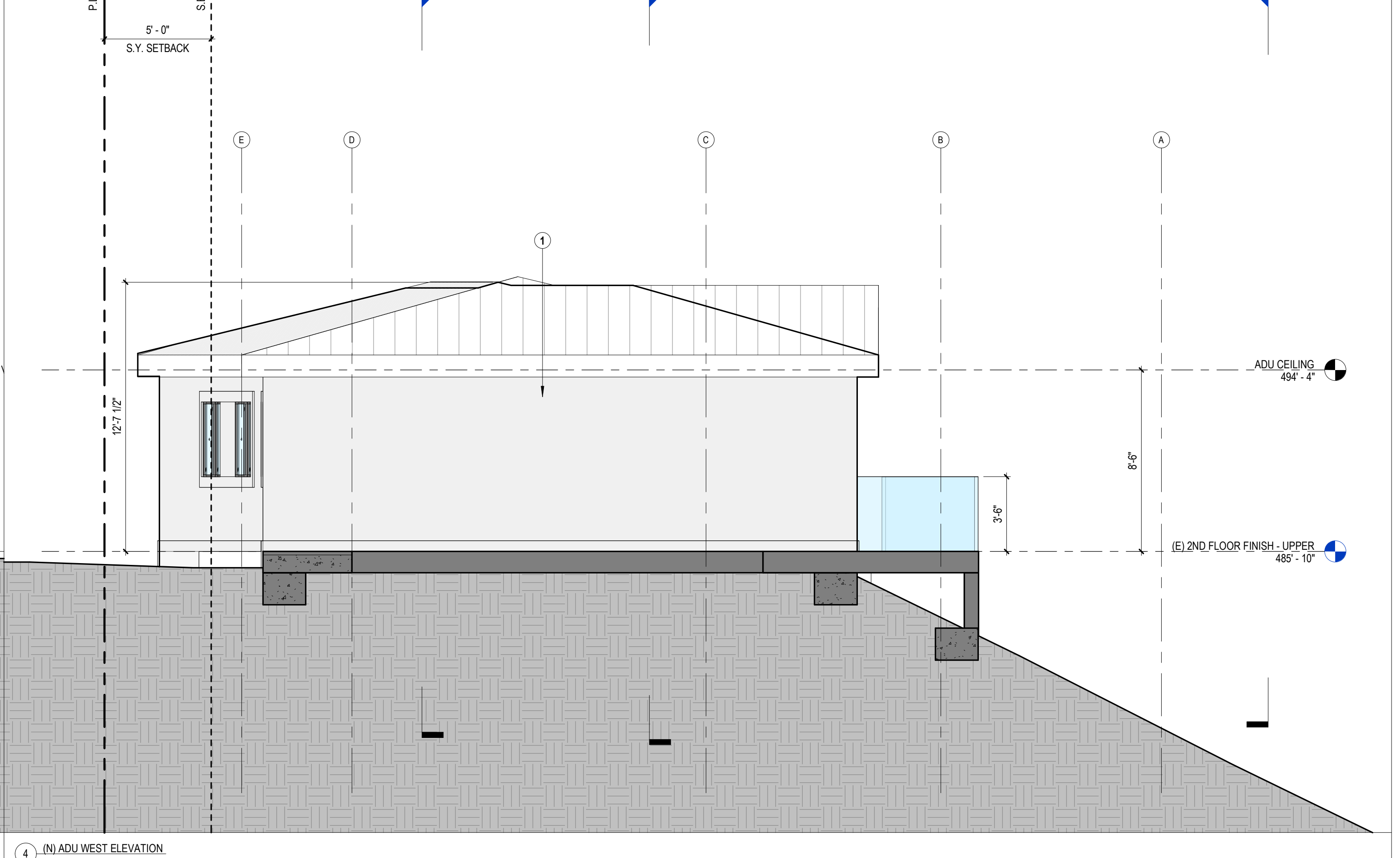
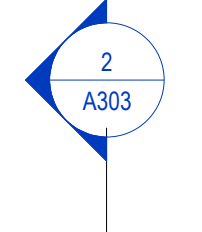
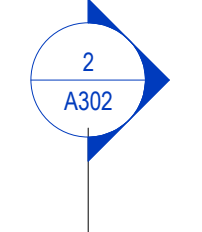
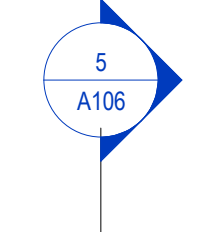
1 INJ ADU SOUTH ELEVATION
1/4" = 1'-0"



2 INJ ADU EAST ELEVATION
1/4" = 1'-0"



3 INJ ADU NORTH ELEVATION
1/4" = 1'-0"



4 INJ ADU WEST ELEVATION
1/4" = 1'-0"

- PLAN LEGEND**
- WALL TYPES**
- DEMOLITION WALL
 - NEW WALL
 - EXISTING WALL
 - NEW WALL (1 HOUR RATED) SEE DETAIL ON A5004
- LANDSCAPE / HARDSCAPE**
- CONCRETE PAD
 - LAWN
 - WOOD DECK
 - GRAVEL
- MECHANICAL FAN, MIN. 50 CFM WITH HUMIDISTAT / ENERGY STAR COMPLIANT
 - RANGE FAN
 - ELECTRICAL METER
 - GAS METER
 - SMOKE/CARBON MONOXIDE DETECTOR (ANY BUILDING CODE NOTE FIRE PROTECTION #3, #4)
 - FLOOR DRAIN
 - DOWNSPOUT
 - OVERFLOW
 - WEATHER-BASED IRRIGATION CONTROLLER SPEC A802
 - STEP MARKER

- MATERIAL, TEXTURE AND COLORS**
- 1 STUCCO: BONE WHITE SANTA BARBARA FINISH ALBEDO APPROX. 70%
 - 2 STUCCO: TOWHEE GREY SANTA BARBARA FINISH ALBEDO APPROX. 15%
 - 3 STUCCO: BROWN SANTA BARBARA FINISH ALBEDO APPROX. 15%
 - 4 GLASS RAILING: CLEAR MANUFACTURER: TBD ALBEDO APPROX. 10%
 - 5 LOW-E SOLAR CONTROL WINDOW MANUFACTURER: TBD
 - 6 STONE VENEER CLADDING COURSED ASHLAR PATTERN, LIGHT LIMESTONE LOOK
 - 7 STANDING SEAM METAL ROOF METAL PRODUCTS: SPAN-LOK HP 16" STRIATED METAL COLORS: MIDNIGHT BRONZE
 - 8 BOARD AND BATTEN SIDING FIBER CEMENT BOARD
 - 9 SIDING: WOOD SIDING ARCHITECTURAL WALL PANELS VINTAGEWOOD - WOOD SERIES

- KEYNOTES**
- BUILT-IN CLOSET
 - LINEN CLOSET
 - DISH WASHER
 - REFRIGERATOR
 - COOKTOP W/ RANGE HOOD
 - WASHER: PROVIDE WASTE DRAIN & HOT AND COLD WATER.
 - DRYER: PROVIDE 4" DRAIN VENT WITH DAMPER TO OUTSIDE AIR AT ROOF. PROVIDE REINFORCEMENT BEHIND PER CRC R327.1.1. SEE 10A500
 - SHOWER CLEARANCE, @ 30"
 - PROVIDE ULTRA FLUSH WATER CLOSET (1.28 GAL/FLUSH). ALLOW A 24" FLOOR CLEARANCE IN FRONT OF TOILET AND A 30" WIDTH CLEARANCE.
 - PROVIDE REINFORCEMENT @ SHOWER WALL PER CRC R327.1.1. SEE 10A500
 - PROVIDE A 12"W X 12"H WALL NICHE AT SHOWER AND APPROVED SHATTER-RESISTANT MATERIAL FOR SHOWER/TUB ENCLOSURE
 - LOW-FLOW FAUCETS (1.5 GPM @ 80 PSI) TO BE IN BATHROOMS AND KITCHEN. LOW-FLOW TUB-SHOWER FITTINGS (2.0 GPM @ 80 PSI). CONTROL VALVES FOR SHOWERS AND TUB-SHOWERS SHALL BE OF PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE.
 - ELECTRICAL: HIGH RECOVERY, WATER HEATER / STORAGE TANK WITH CIRCULATION PUMP AND R-5 INSULATION. VERIFY WITH TITLE 24. SET ON AN 18" WOOD PLATFORM AND SECURE TO WALL FRAMING WITH METAL STRAPS FOR LATERAL SUPPORT IN THE EVENT OF AN EARTHQUAKE. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER 1/3 AND LOWER 1/3 OF ITS VERTICAL DIMENSION. AT THE LOWER POINT, THE CONTROLS PER 2022 CPC SECTIONS 508.2 PROVIDE PLUMBING LOOKS FOR WATER SOFTENER.
 - CASEWORK - UPPER
 - ELECTRICAL METER AND MAIN PANEL, 200 AMPS.
 - AC, OUTDOOR UNIT
 - WATER HEATER
 - 30" X 30" ATTIC ACCESS
 - 18" X 24" CRAWL SPACE ACCESS
 - BATHTUB
 - BUILT IN SHOWER OR TUB WITH THE FOLLOWING SPECIFICATIONS:
 - a. PROVIDE TILE AT FLOOR AND WALLS AT SHOWER
 - b. CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS IN COMPLIANCE WITH ASTM C1178, C1288 OR C1325 SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS
 - c. SHOWER COMPARTMENT SHALL HAVE A MIN. FINISH INT. OF 1024 SQ. IN. AND SHALL BE CAPABLE OF ENCOMPASSING A 30" DIA. PER CPC 408
 - d. PROVIDE TEMPERED SHOWER GLASS ENCLOSURE. SHOWER DOOR SHALL SWING OUT AND OPEN SO AS TO MAINTAIN A MIN. 22 IN. UNOBSTRUCTED OPENING FOR EGRESS. PER CPC 408.5
 - DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1.5' BELOW THE THRESHOLD
 - KITCHEN SINK
 - KITCHEN FAUCET
 - LAUNDRY SINK
 - GLASS GUARDRAIL, TEMPERED, HEIGHT=42" ICC-ESR-3269
 - PROVIDE GUARDRAIL, 3'-6" A.F.F.
 - PROVIDE HANDRAIL, 3'-0" A.F.F.
 - STANDING SEAM METAL ROOF
 - FIREPLACE

HOUSE REMODEL
161116 ANOKA DR, LOS ANGELES

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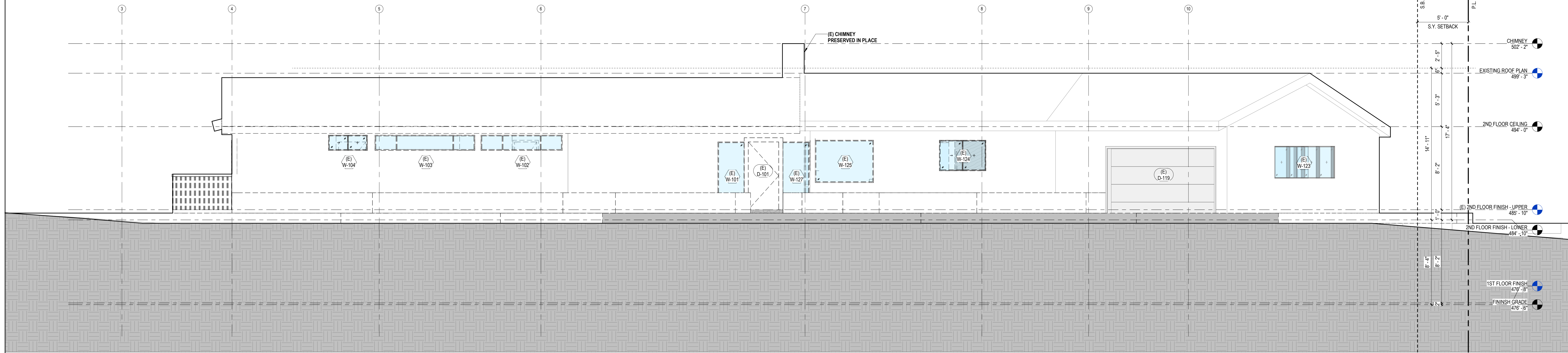
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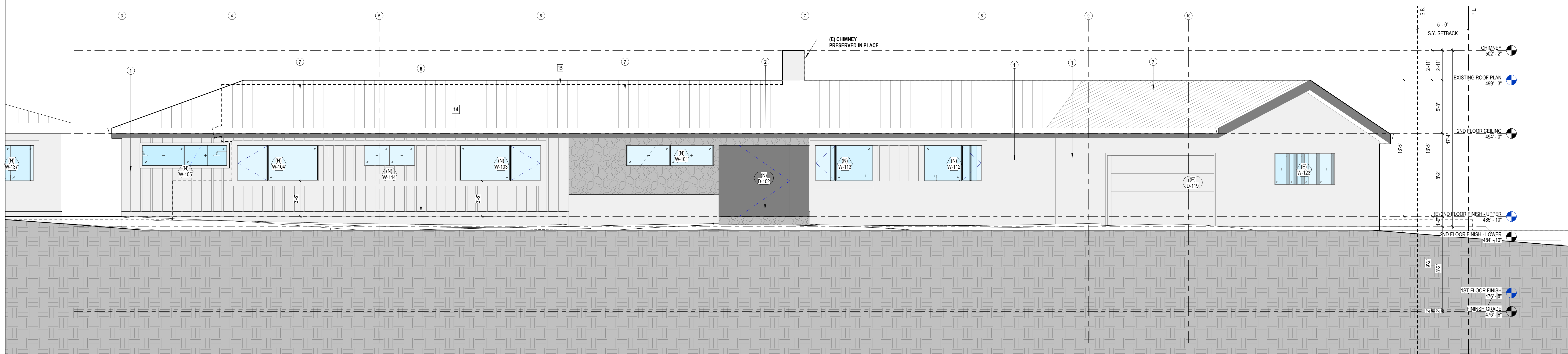
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TITLE ADU

SHEET **A107**



1 (E) NORTH ELEVATION
1/4" = 1'-0"



2 (N) NORTH ELEVATION
1/4" = 1'-0"

ELEVATION NOTES		KEYNOTES		MATERIAL, TEXTURE AND COLORS			
<p>A. CONTRACTOR TO FIELD VERIFY BUILDING HEIGHTS, BUILDING MATERIALS, WINDOW AND DOOR LOCATIONS AND THE ALLOWABLE BUILDING ENVELOPE. INFORM ARCHITECT OF ANY DISCREPANCIES</p> <p>B. CONTRACTOR TO COORDINATE FINISH SURFACE ELEVATIONS OF ALL HARDCAPE WITH LANDSCAPE AND CIVIL DRAWINGS. INFORM ARCHITECT OF ANY DISCREPANCIES</p> <p>C. AT STUCCO (CEMENT PLASTER), PROVIDE CONTINUOUS METAL WEEP-SCREENED AS REQUIRED BY CODE, SEC R703.6.2.1. SEE DETAILS</p> <p>D. AT MECHANICALLY ATTACHED STONE AND BRICK, PROVIDE FLASHING AND MINIMUM 3/8" DIA. WEEP HOLES AT 30" MIN. O.C. AS REQUIRED PER SEC R703.7.2</p> <p>E. STONE INSTALLATION SYSTEM SHALL BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION</p> <p>F. ALL DIMENSIONS ARE TO FINISH UNLESS OTHERWISE NOTED</p> <p>G. STRUCTURE SHALL COMPLY TO LOCAL GOVERNING HIGH FIRE HAZARD SEVERITY ZONE AS REQUIRED</p> <p>H. UNDER-FLOOR VENTS OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/8-IN. MINIMUM AND 1/4-IN. MAXIMUM OPENING. (R408)</p> <p>I. PROVIDE REQUIRED WALL AND ROOF INSULATION PER T24 REPORT, SEE A030, A031</p>		<p>1. FINISHED GRADE</p> <p>2. REPAIR (E) ROOF WITH (N) STANDING SEAM METAL ROOF, SEE SEPC. ON A800</p> <p>3. RESTUCCO (E) WALL, WITH 3-COAT CEMENT LASTER, COLOR AND TEXTURE TO MATCH (E) MAIN HOUSE</p> <p>4. EAVE, 2X6 D.F. PAINT GRADE T&G, PAINT COLOR TO MATCH (E) MAIN HOUSE</p> <p>5. (E) CMU WALL, NO CHANGE</p> <p>6. NEW ATTIC VENT, DORMER VENTS, BH24 (12 X 24 SQUARE TAIL), SEE SPECS ON SHEET A800</p> <p>7. REPAIR (E) GUTTER, TYP.</p> <p>8. EGRESS WINDOW, PROVIDE: A. 20" MIN. CLEAR HEIGHT IN OPENING B. 20 MIN. CLEAR WIDTH IN OPENING C. 5 SF MIN. CLEAR AREA</p> <p>9. CLASS A STANDING SEAM METAL ROOF, SEE SEPC. ON A800</p> <p>10. (N) STUCCO, WITH 3-COAT CEMENT LASTER, COLOR AND TEXTURE TO MATCH (E) MAIN HOUSE</p> <p>11. (N) DOWNSPOUT</p> <p>12. (N) GUTTER WITH CORROSION RESISTANT 1" HEXAGON MESH WIRE. TYPICAL</p> <p>13. SKYLIGHT</p> <p>14. STANDING SEAM METAL ROOF</p> <p>15. EXISTING HOUSE OUTLINE</p> <p>16. EXISTING GRADE</p>		<p>1. STUCCO: BONE WHITE SANTA BARBARA FINISH ALBEDO APPROX.: 70%</p> <p>2. STUCCO: TOWHEE GREY SANTA BARBARA FINISH ALBEDO APPROX.: 15%</p> <p>3. STUCCO: BROWN SANTA BARBARA FINISH ALBEDO APPROX.: 15%</p> <p>4. GLASS RAILING: CLEAR MANUFACTURER: TBD ALBEDO APPROX.: 10%</p> <p>5. LOW-E SOLAR CONTROL WINDOW MANUFACTURER: TBD</p> <p>6. STONE VENEER CLADDING COURSED ASHLAR PATTERN, LIGHT LIMESTONE LOOK</p> <p>7. STANDING SEAM METAL ROOF METAL PRODUCTS: SPAN-LOK HP 16" STRIATED METAL COLORS: MIDNIGHT BRONZE</p> <p>8. BOARD AND BATTEN SIDING FIBER CEMENT BOARD</p> <p>9. SIDING: WOOD SIDING ARCHITECTURAL WALL PANELS VINTAGEWOOD - WOOD SERIES</p>		<p>HOUSE REMODEL 16116 ANOKA DR, LOS ANGELES</p> <p>ISSUED FOR PERMIT 4/3/2025 12:52:37 PM AS SHOWN</p> <p>ISSUE DATE & TIME DRAWN BY</p> <p>NO. DESCRIPTION DATE</p> <p>REVISION</p> <p>TITLE</p> <p>ELEVATIONS</p> <p>SHEET A200</p>	

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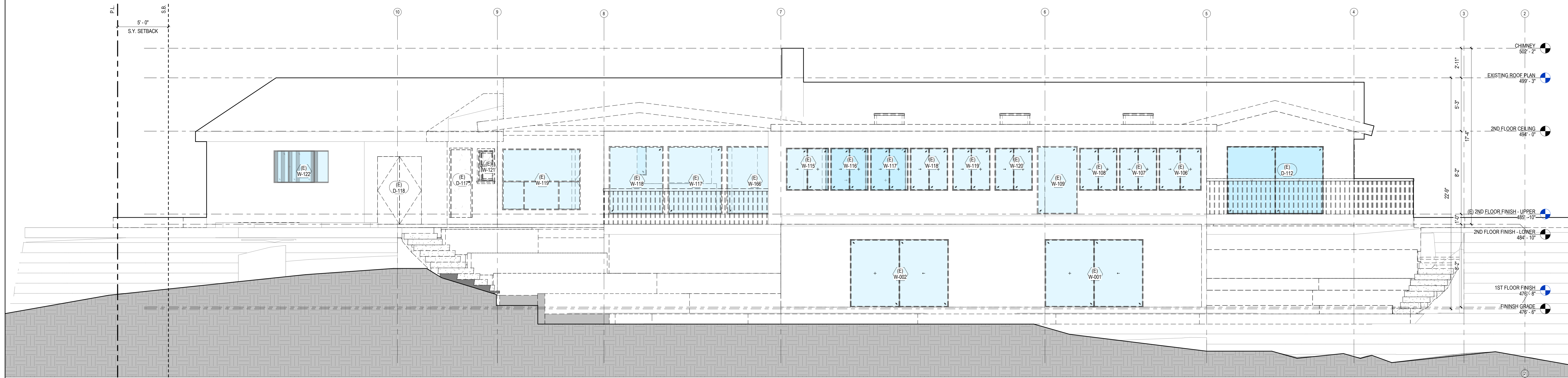
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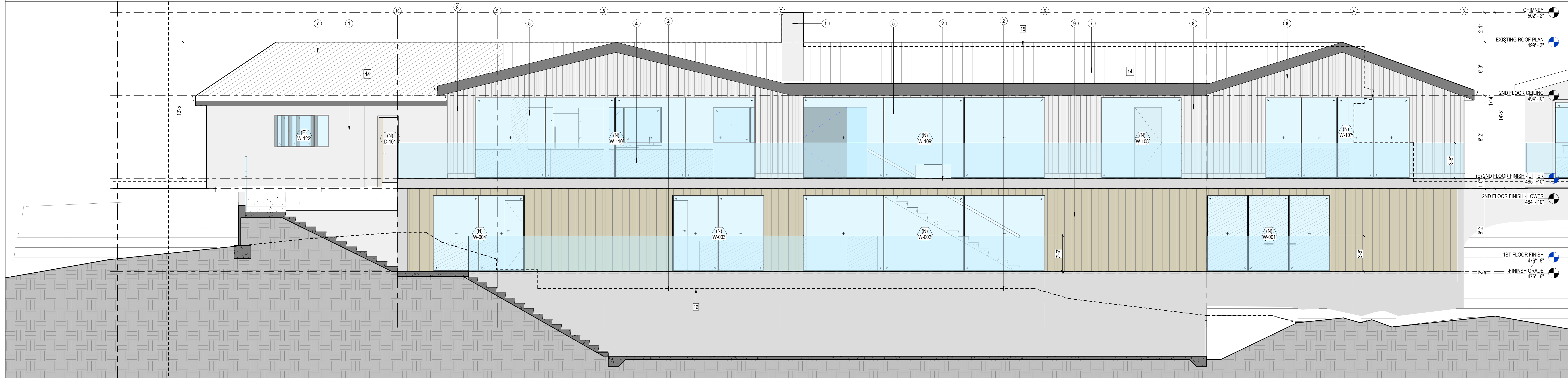
TITLE

ELEVATIONS

SHEET
A200



1 (E) SOUTH ELEVATION
1/4" = 1'-0"



2 (N) SOUTH ELEVATION
1/4" = 1'-0"

- ELEVATION NOTES**
- A. CONTRACTOR TO FIELD VERIFY BUILDING HEIGHTS, BUILDING MATERIALS, WINDOW AND DOOR LOCATIONS AND THE ALLOWABLE BUILDING ENVELOPE. INFORM ARCHITECT OF ANY DISCREPANCIES
 - B. CONTRACTOR TO COORDINATE FINISH SURFACE ELEVATIONS OF ALL HARDSCAPE WITH LANDSCAPE AND CIVIL DRAWINGS. INFORM ARCHITECT OF ANY DISCREPANCIES
 - C. AT STUCCO (CEMENT PLASTER). PROVIDE CONTINUOUS METAL WEEP-SCREED AS REQUIRED BY CODE. SEC R703.6.2.1. SEE DETAILS
 - D. AT MECHANICALLY ATTACHED STONE AND BRICK. PROVIDE FLASHING AND MINIMUM 3/8" DIA. WEEP HOLES AT 30" MIN. O.C. AS REQUIRED PER SEC R703.7.2
 - E. STONE INSTALLATION SYSTEM SHALL BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION
 - F. ALL DIMENSIONS ARE TO FINISH UNLESS OTHERWISE NOTED
 - G. STRUCTURE SHALL COMPLY TO LOCAL GOVERNING HIGH FIRE HAZARD SEVERITY ZONE AS REQUIRED
 - H. UNDER-FLOOR VENTS OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/8-IN. MINIMUM AND 1/4-IN. MAXIMUM OPENING. (R408)
 - I. PROVIDE REQUIRED WALL AND ROOF INSULATION PER T24 REPORT. SEE A030, A031

- KEYNOTES**
- 1. FINISHED GRADE
 - 2. REPAIR (E) ROOF WITH (N) STANDING SEAM METAL ROOF. SEE SEPC. ON A800
 - 3. RESTUCCO (E) WALL, WITH 3-COAT CEMENT LASTER, COLOR AND TEXTURE TO MATCH (E) MAIN HOUSE
 - 4. EAVE. 2X6 D.F. PAINT GRADE T&G. PAINT COLOR TO MATCH (E) MAIN HOUSE
 - 5. (E) CMU WALL. NO CHANGE
 - 6. NEW ATTIC VENT, DORMER VENTS, BH24 (12 X 24 SQUARE TAIL). SEE SPECS ON SHEET A900
 - 7. REPAIR (E) GUTTER, TYP.
 - 8. EGRESS WINDOW. PROVIDE:
A. 20" MIN. CLEAR HEIGHT IN OPENING
B. 20 MIN. CLEAR WIDTH IN OPENING
C. 5 SF MIN. CLEAR AREA
 - 9. CLASS A STANDING SEAM METAL ROOF. SEE SEPC. ON A800
 - 10. (N) STUCCO, WITH 3-COAT CEMENT LASTER, COLOR AND TEXTURE TO MATCH (E) MAIN HOUSE
 - 11. (N) DOWNSPOUT
 - 12. (N) GUTTER WITH CORROSION RESISTANT 1" HEXAGON MESH WIRE. TYPICAL
 - 13. SKYLIGHT
 - 14. STANDING SEAM METAL ROOF
 - 15. EXISTING HOUSE OUTLINE
 - 16. EXISTING GRADE

MATERIAL, TEXTURE AND COLORS

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7		STANDING SEAM METAL ROOF METAL PRODUCTS: SPAN-LOK HP 16" STRIATED METAL COLORS: MIDNIGHT BRONZE
8		BOARD AND BATTEN SIDING FIBER CEMENT BOARD
9		SIDING: WOOD SIDING ARCHITECTURAL WALL PANELS VINTAGEWOOD - WOOD SERIES

HOUSE REMODEL
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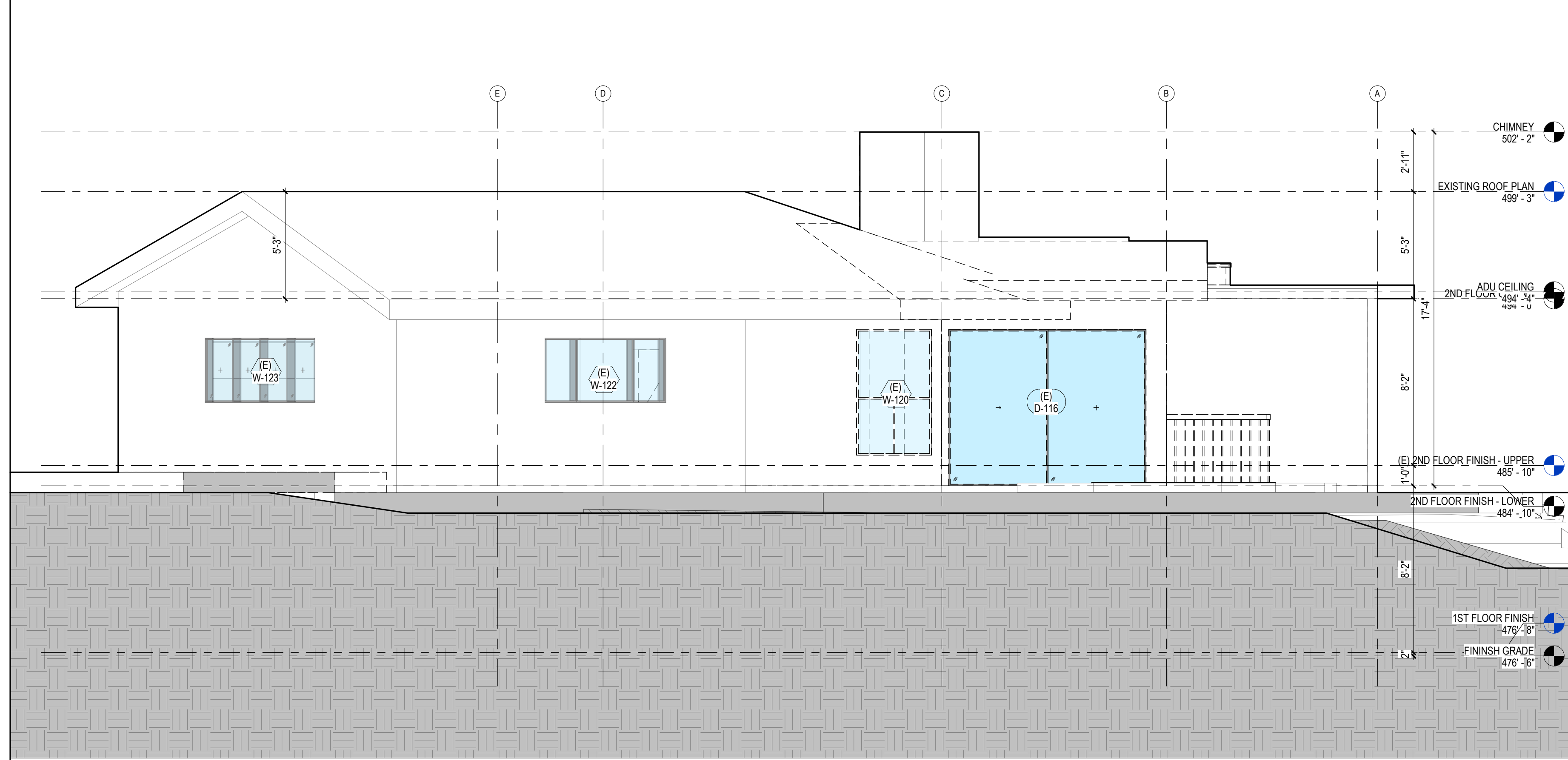
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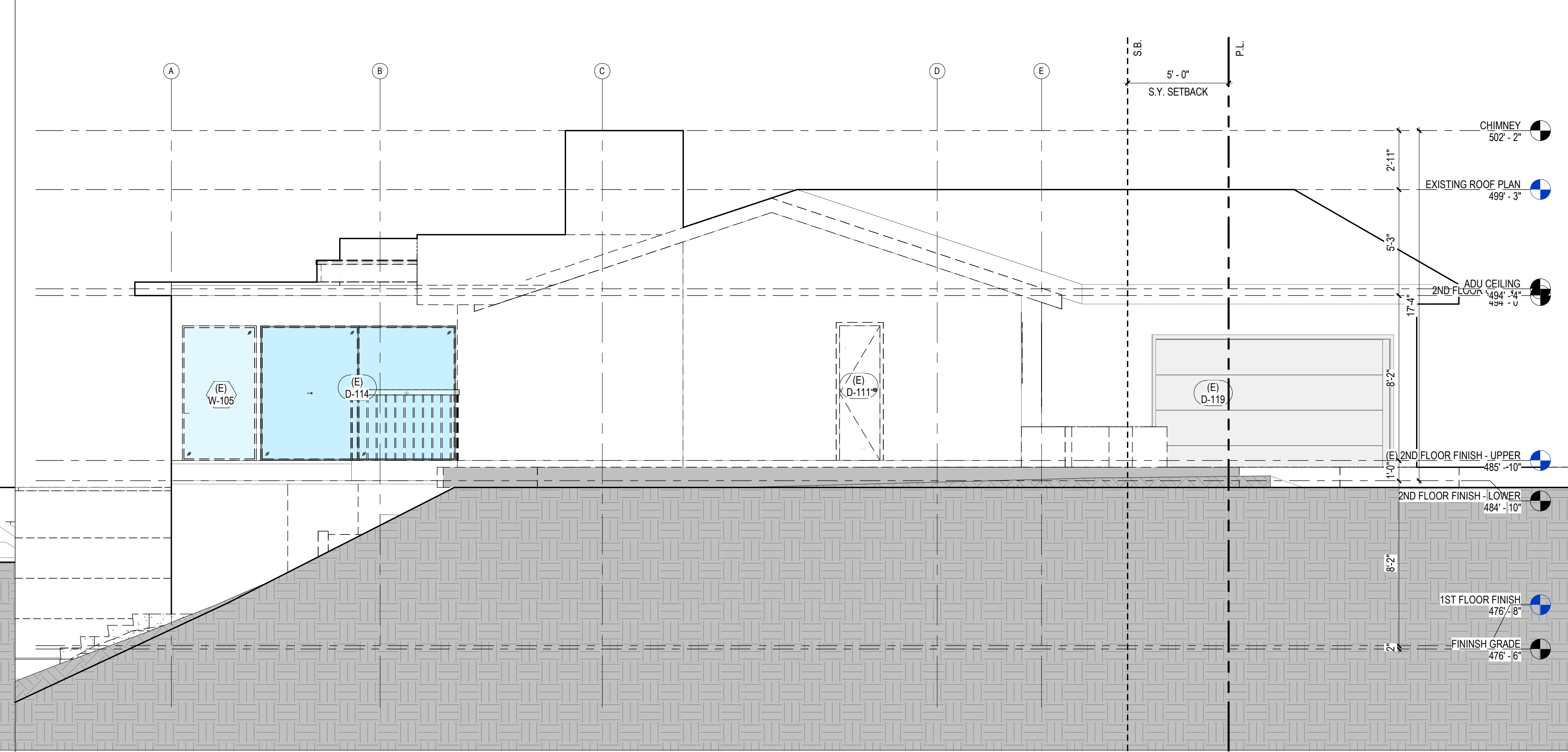
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ELEVATIONS

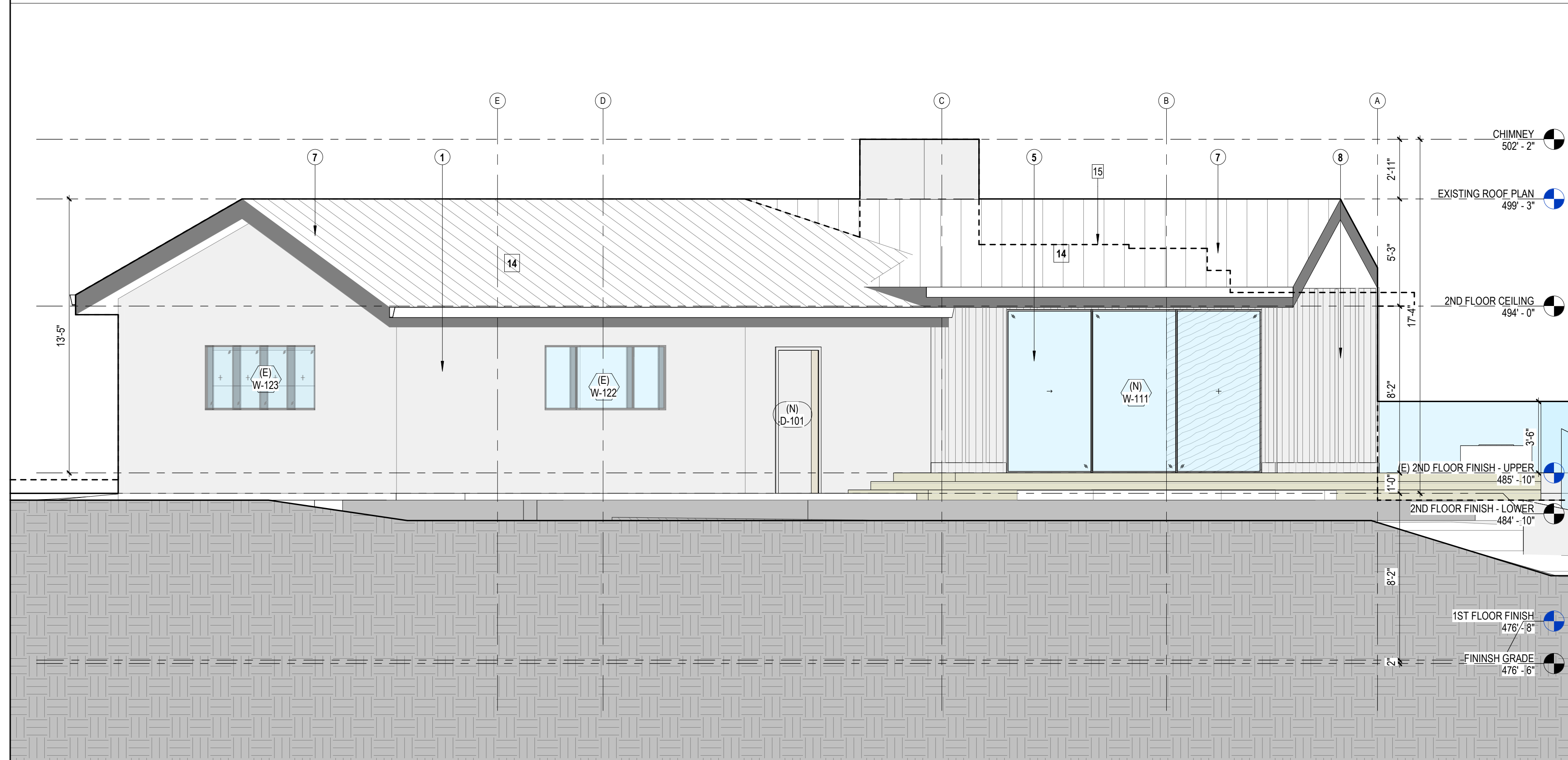
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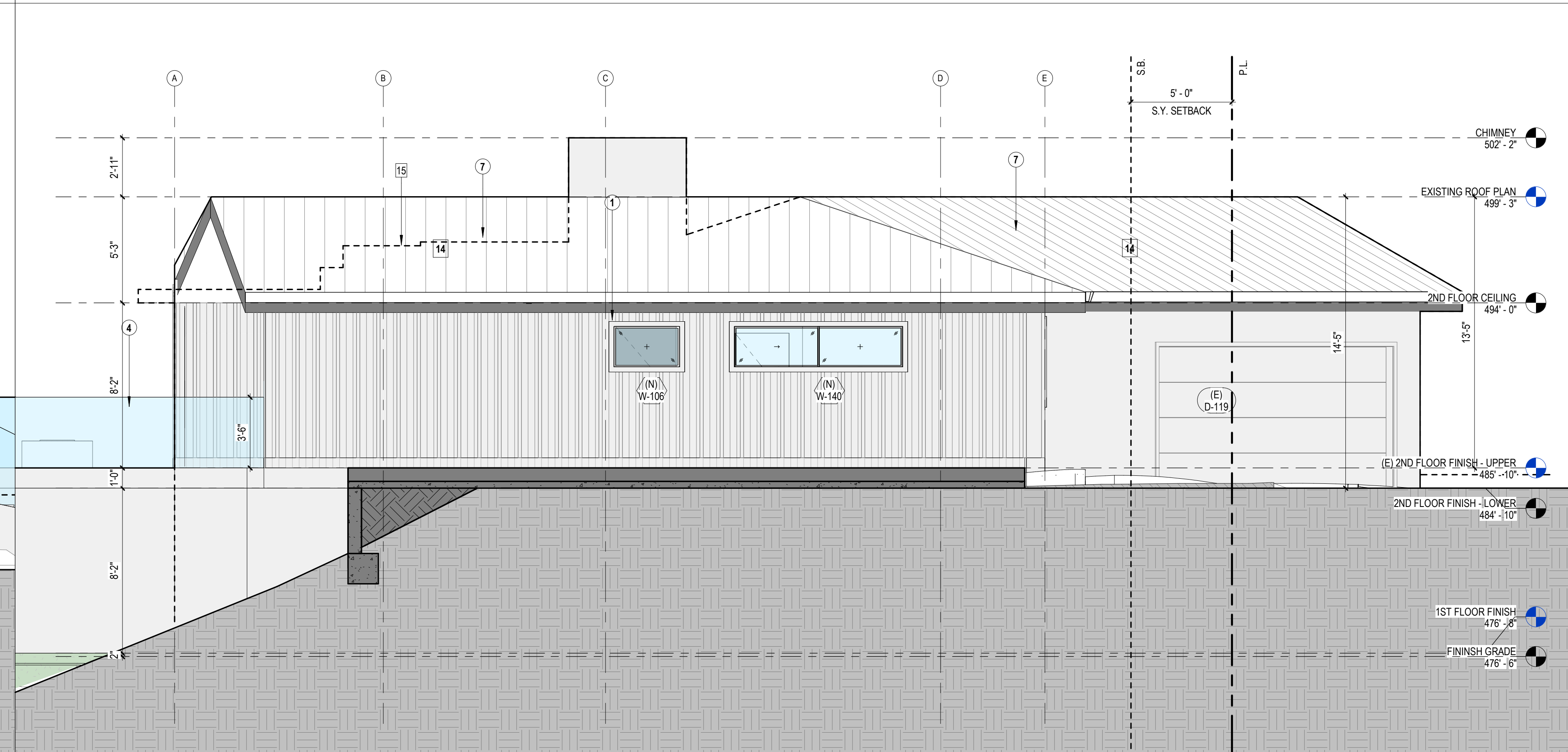
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3 (N) WEST ELEVATION
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4 (N) EAST ELEVATION
1/4" = 1'-0"

ELEVATION NOTES

- A. CONTRACTOR TO FIELD VERIFY BUILDING HEIGHTS, BUILDING MATERIALS, WINDOW AND DOOR LOCATIONS AND THE ALLOWABLE BUILDING ENVELOPE. INFORM ARCHITECT OF ANY DISCREPANCIES
- B. CONTRACTOR TO COORDINATE FINISH SURFACE ELEVATIONS OF ALL HARDSCAPE WITH LANDSCAPE AND CIVIL DRAWINGS. INFORM ARCHITECT OF ANY DISCREPANCIES
- C. AT STUCCO (CEMENT PLASTER). PROVIDE CONTINUOUS METAL WEEP-SCREED AS REQUIRED BY CODE. SEC R703.6.2.1. SEE DETAILS
- D. AT MECHANICALLY ATTACHED STONE AND BRICK. PROVIDE FLASHING AND MINIMUM 3/8" DIA. WEEP HOLES AT 30" MIN. O.C. AS REQUIRED PER SEC R703.7.2
- E. STONE INSTALLATION SYSTEM SHALL BE REVIEWED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION
- F. ALL DIMENSIONS ARE TO FINISH UNLESS OTHERWISE NOTED
- G. STRUCTURE SHALL COMPLY TO LOCAL GOVERNING HIGH FIRE HAZARD SEVERITY ZONE AS REQUIRED
- H. UNDER-FLOOR VENTS OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/8-IN. MINIMUM AND 1/4-IN. MAXIMUM OPENING. (R408)
- I. PROVIDE REQUIRED WALL AND ROOF INSULATION PER T24 REPORT, SEE A030, A031

KEYNOTES

- 1. FINISHED GRADE
- 2. REPAIR (E) ROOF WITH (N) STANDING SEAM METAL ROOF, SEE SEPC. ON A800
- 3. RESTUCCO (E) WALL, WITH 3-COAT CEMENT LASTER, COLOR AND TEXTURE TO MATCH (E) MAIN HOUSE
- 4. EAVE, 2X6 D.F. PAINT GRADE T&G, PAINT COLOR TO MATCH (E) MAIN HOUSE
- 5. (E) CMU WALL, NO CHANGE
- 6. NEW ATTIC VENT, DORMER VENTS, BH24 (12 X 24 SQUARE TAIL), SEE SPECS ON SHEET A900
- 7. REPAIR (E) GUTTER, TYP.
- 8. EGRESS WINDOW, PROVIDE:
A. 20" MIN. CLEAR HEIGHT IN OPENING
B. 20" MIN. CLEAR WIDTH IN OPENING
C. 5 SF MIN. CLEAR AREA
- 9. CLASS A STANDING SEAM METAL ROOF, SEE SEPC. ON A800
- 10. (N) STUCCO, WITH 3-COAT CEMENT LASTER, COLOR AND TEXTURE TO MATCH (E) MAIN HOUSE
- 11. (N) DOWNSPOUT
- 12. (N) GUTTER WITH CORROSION RESISTANT 1" HEXAGON MESH WIRE. TYPICAL
- 13. SKYLIGHT
- 14. STANDING SEAM METAL ROOF
- 15. EXISTING HOUSE OUTLINE
- 16. EXISTING GRADE

MATERIAL, TEXTURE AND COLORS

- 1. STUCCO: BONE WHITE SANTA BARBARA FINISH ALBEDO APPROX. 70%
- 2. STUCCO: TOWHEE GREY SANTA BARBARA FINISH ALBEDO APPROX. 15%
- 3. STUCCO: BROWN SANTA BARBARA FINISH ALBEDO APPROX. 15%
- 4. GLASS RAILING: CLEAR MANUFACTURER: TBD ALBEDO APPROX. 10%
- 5. LOW-E SOLAR CONTROL WINDOW MANUFACTURER: TBD
- 6. STONE VENEER CLADDING COURSED ASHLAR PATTERN, LIGHT LIMESTONE LOOK
- 7. STANDING SEAM METAL ROOF METAL PRODUCTS: SPAN-LOK HP 16" STRIATED METAL COLORS: MIDNIGHT BRONZE
- 8. BOARD AND BATTEN SIDING FIBER CEMENT BOARD
- 9. SIDING: WOOD SIDING ARCHITECTURAL WALL PANELS VINTAGEWOOD - WOOD SERIES

HOUSE REMODEL
16116 ANOKA DR, LOS ANGELES

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ELEVATIONS